



**HISTORIC PRESERVATION
ZEPHYRHILLS, FLORIDA**

**Thursday, October 30, 2025
6:00 PM**

**Zephyrhills
City Hall**

**Council
Chambers**

1. CONSENT ITEMS

- 1.1 HPB Meeting Minutes Approval For 9/3/25.**
1. HPV Meeting Minutes 9-4-25

2. BUSINESS ITEMS

- 2.1 5243 9th Street - Certificate of Appropriateness
1. Updated Certificate of Appropriateness - 5243 9th St
- 2.2 5531 10th Street - Certificate of Appropriateness
- 2.3 5527 11th Street - Certificate of Appropriateness and Facade Grant
1. 5527 11th St - COA
2. 5527 11th St - Facade Grant App
3. 5527 11th St - Proposed Work and Cost Estimate
- 2.4 38517 5th Avenue - Certificate of Appropriateness
1. 38517 5th Ave - Certificate of Appropriateness
2. Main Street Theater Findings
- 2.5 Historic District Survey Summary
1. Historic District Survey Summary
2. Zephyrhills Downtown Historic District Summary & Recommendations
- 2.6 Historic Facade Improvement Matching Grant Program proposed changes
1. Historic District Grant Mechanisms
- 2.7 Historic District Ordinance Updates
1. DRAFT CHANGES - Chapter 154 - Historic Properties and Historic Districts

3. NOTED ITEMS

ADJOURN

*** PLEASE NOTE: This is a Public Meeting. Should any interested party seek to appeal any decision made by the Council with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S. 286.0105. If you are a person with a disability which requires reasonable accommodation in order to participate in this meeting, please contact the City Clerk at 813/780-0000 at least 48 hours prior to the public hearing. A.D.A. and F.S. 286.26.**



Historic Preservation Board Meeting Minutes September 4th, 2025

Call to Order-Tracy Sullivan

Roll Call-Carlos Maldonado

Attendance: Tracy Sullivan, Erica Freeman, Tony Kerns (was present virtually),
Members absent: Shailia Velazquez, Elle Rowe, Vivien Donahue

1.Consent Items: None featured in this meeting

2. Business Items

2.1 Certificate of Appropriateness - 5354 9th St

2.2 Residential Historic Facade Grant - 5354 9th St

Both items 2.1 and 2.2 were discussed jointly by Historic Preservation Specialists/City Planner William McCaw. The owner of the property has applied for a certificate of appropriateness and facade grant. The owner is Marian Riopelle. She had her roof replaced after applying for the grant, but prior to approval. The replacement was done with the same material shingles as the original and similar style so it could maintain the historic integrity. William presented a short power point on this item covering topics; the initial applications for the certificate of approval and the historic facade grant were submitted on 1/9/25, the building permit for the roof replacement was made on 1/21/25 with final inspection of the roof completed on 2/18/25, the roof was replaced with directional shingles of the same material and color as the original roof. Staff recommend approval of both the certificate of appropriateness and the historic facade grant. The location of the property and a picture of the roof was presented as well via the power point. The COA and the historic grant were both applied for and then the repairs were done. There was a verbal agreement with the previous historic planner that the grant and the certificate of appropriateness was going to be approved. And that is why items later in the noted agenda are being presented. We've made some changes to the historic facade grants for both nonresidential and residential, such that verbal agreements are no longer binding. For the record the applicant used to sit on the Historic Board as a member and was aware of the



procedure and guidelines. The procedure should have been applied prior to installing the roof. However, due to the staff issue the Historic Planner position being vacant the applicant had to move forward with installing the roof. The building permits cannot be issued in the historic district specifically, unless the certificate of appropriateness has been approved, due to staff turnover an exception can be made if the board approves. In the future the proper procedure will be followed. The 5k maximum allowed grant was recommended approval.

Recommendation: The board voted for approval on both items certificate of appropriateness and the grant.

2.3 Certificate of Appropriateness - 38537 5th Ave (Jeffries Home)

The discussion was led by William. This item is regarding the COA approval it's not grant related. The historic home is the Jeffries Family home in downtown Zephyrhills. This item is going to be a roof replacement for the property. A roof report was presented showing visuals of the rustic roof and fasteners. The home already has a galvanized aluminum roof, the. Project was originally quoted for an exact replacement, but under direction of the city manager. Options explored were the replacement of the roof with instead of 5V crimp it would be a standing seam roof. Pictures of the project were displayed via the slide show presentation. The main difference is simply the fact that the fasteners on a 5V crimp roof are exposed as you can see in the bottom photo on the screen now, some of the fasteners are missing or rusted away and that is part of the design of a 5V crimp roof. The purpose of the upgrade is to assist with maintenance of the roof. Staff recommend approval of the certificate of appropriateness for the standing seam.

Recommendation: The item was motioned for approval by the board members.

3. Noted Items

3.1 Revision to Historic Preservation Grant application from Language

This was a noted item and no voting was required. This was mainly to address the language of the current historic applications. The verbiage is only on the Grant application mentioning: All conditions and approvals must be in writing. All verbal communication between planning staff and applicants is non-binding and should be followed up with written communication for



confirmation and clarification purposes. Proposed work for which grant funds are being requested shall not commence under any circumstances until such time as the grant has been officially rewarded. Any work that is conducted without written authorization shall be considered unauthorized and will result in grant funds being withheld. The city shall not recognize verbal agreements of any kind. This verbiage could also be added to the additional historic applications. This will mainly affect the historic district due to properties being contributing structures. The historic district budget and the survey that was currently completed were discussed briefly. Contributing structures were mentioned and stating they are determined via the survey that was completed, also a structure that is 50 years or older and maintained the original facade. Some contributing structures could be restored. A better definition to contributing structures will be brought up in future meetings.

Adjourn

Staff Report Memorandum

To: Historic Preservation Board
From: William McCaw – Community Planner
RE: BGC-010684-2025 – 5243 9th St. – Certificate of Appropriateness
Date: October 30th, 2025

I. BACKGROUND & INFORMATION

A. History | Application Summary

A Building permit application was submitted to the City by Mario and Elisa Ruiz for the construction of a six feet tall, wooden privacy fence at the side and rear of the property 5243 9th Street, a designated contributing resource to the Zephyrhills Historic District. The district and resources within fall under the regulations of city ordinance No. 774-01, as amended.

Where building permits are submitted, historic preservation staff is added to the review within our permitting system to ensure compliance with COA requirements.

B. Subject Property Information

5243 9th Street is a wood frame constructed, Vernacular style residence built in 1935.

II. DATA & ANALYSIS REVIEW

The applicant is requesting to construct an unpainted 6-foot tall wooden stockade/privacy fence to match the existing fence materials and colors on the property.

CRA Design Standards

All properties located within the historic district are also located within the CRA. All building permit applications are forwarded, by the Building Department, to the CRA Director for review of conformance with CRA standards, and approval.

Design Guidelines for Historic Structures

The current design guidelines for historic properties recommends a few key guidelines for design and placement of fences:

- “Wood fences of a colonial (picket) or ranch style and stockade fences are usually in keeping with the character of the district. Painting of wooden rails or picket fences is not required...”
 - STAFF ANALYSIS (1): The design and materials of the proposed fence appear to be compatible with the primary structure as well as other structures in the neighborhood.

- “Fences in (the side and rear yard) areas may be adjacent to or on property (or right-of-way) lines but shall not exceed eight (8) feet in height, and if within twenty (20) feet of the right-of-way for the intersection of any two streets, a street and an alley, or two alleys, shall not exceed four (4) feet in height.
 - STAFF ANALYSIS (2): The proposed fence will exceed the suggested 4 feet in height along the alley on the northern and western property boundaries fronting the alleys and do not meet these standards.

US Secretary of the Interior’s Standards for the Treatment of Historic Properties

The US Secretary of the Interior’s Standards outline the guidelines pertaining to the 4 treatments of historic properties: Preservation, Rehabilitation, Restoration and Reconstruction. New construction is covered under Rehabilitation and provides the following guidance:

- “Design new exterior additions to historic buildings that is compatible with the historic building.”
 - The proposed fence is a continuation of the existing shorter fence that fronts the street.
- “Use the same forms, materials, and color range of the historic building in a manner that does not duplicate it, but distinguishes it from the original building.”
 - The proposed fence will be of similar wooden materials to the existing fence.

III. RECOMMENDATION

The proposed construction of a new fence at the side and rear of the property is partially in conformance with historic design guidelines, as well as the City’s Land Development Code. Given the proximity to the parking at the rear of 5th Avenue and Clock Tower Park, the proposed 6-foot height of the fence is acceptable. Staff recommends approval of a certificate of appropriateness for the installation of the wooden fence as presented.

REQUIRED SUPPORTIVE MATERIALS

- Detailed plans (site plans and architectural renderings/elevations), *if applicable*.
- Color and material samples/examples and/or specifications.
- Color photographs of the property and specific areas to be addressed, in their current condition.
- Documentation showing that the proposed work is consistent with the City of Zephyrhills Historic Design Guidelines, US Secretary of the Interior's Standards, and CRA Design Standards.



APPLICANT INFORMATION

***Property Owner:** _____
***Mailing Address:** _____
***Email Address:** _____ ***Phone #:** _____

Applicant, if different: _____
Mailing Address: _____
Email Address: _____ Phone #: _____

SUBJECT PROPERTY INFORMATION

***Address:** _____
Designation Name: _____ District Name: _____
***Parcel/Tax ID #:** _____ ***Acreage:** _____
***Property Type:** Owner-Occupied Rental Vacant Other: _____
***Square Footage:** _____ ***Number of Stories/Floors:** _____
Construction Year: _____ Architectural Style: _____

***Exterior Wall Materials:** Brick Wood Horizontal Siding Asbestos
 Concrete Block Wood Vertical Siding Vinyl
 Stone Wood Shingles Aluminum/Metal
 Stucco Other: _____

***Roof Materials:** Asphalt/Composition Shingles Metal: 5V Crimp, Standing Seam, etc.
 Asbestos Other: _____

PROPOSED PROJECT: Alterations/Changes

***Project Type:** Please check all that apply.

- | | |
|--|--|
| <input type="checkbox"/> Repairing Existing Structure(s) | <input type="checkbox"/> Paint |
| <input type="checkbox"/> Restoration/Rehabilitation | <input type="checkbox"/> Interior Work Only |
| <input type="checkbox"/> New Construction/Addition | <input type="checkbox"/> Excavation/Ground Disturbing Activities |
| <input type="checkbox"/> Relocation/Moving a Structure | <input type="checkbox"/> Fencing/Landscaping |
| <input type="checkbox"/> Demolition | |

***Project Description:** Please describe in detail the proposed project, including any new construction, demolition or removal or replacement of existing materials, and all other proposed changes to the current structure. Attach an additional sheet if necessary.

***Effected Elements:** Please check any structural systems or elements that will be affected by this project.

- | | |
|---|--|
| <input type="checkbox"/> Walls / Structural | <input type="checkbox"/> Steps or Stairways |
| <input type="checkbox"/> Roof | <input type="checkbox"/> Windows |
| <input type="checkbox"/> Foundation | <input type="checkbox"/> Doors |
| <input type="checkbox"/> Siding / Stucco / Façade Work | <input type="checkbox"/> Painting / Finishes |
| <input type="checkbox"/> Porches / Entryways / Porte-Cocheres | <input type="checkbox"/> Decorative Architectural Details / Elements |

I certify that the information provided above is true and accurate to the best of my knowledge. I understand and acknowledge that any false information or deviation from the original documents may render a certificate issued under this application null and void, unless approved by the Historic Preservation Board and/or its staff, as may be applicable.



Signature

Date

Print Name

REQUIRED SUPPORTIVE MATERIALS

- Detailed plans (site plans and architectural renderings/elevations), *if applicable*.
- Color and material samples/examples and/or specifications.
- Color photographs of the property and specific areas to be addressed, in their current condition.
- Documentation showing that the proposed work is consistent with the City of Zephyrhills Historic Design Guidelines, US Secretary of the Interior's Standards, and CRA Design Standards.



APPLICANT INFORMATION

*Property Owner: Cheryl Black
*Mailing Address: 5152 21st Street Zephyrhills, FL 33542
*Email Address: Fantasia1527@yahoo.com Phone #: 561-907-0801
Applicant, if different: _____
Mailing Address: _____
Email Address: _____ Phone #: _____

SUBJECT PROPERTY INFORMATION

*Address: 5527 11th Street Zephyrhills, FL 33542
Designation Name: _____ District Name: _____
*Parcel/Tax ID #: 11-26-21-0010-11800-0030 *Acreage: 8,276 sq ft
*Property Type: Owner-Occupied Rental Vacant Other: _____
*Square Footage: 1,065 sq ft *Number of Stories/Floors: 1
Construction Year: 1928 Architectural Style: _____
*Exterior Wall Materials: Brick Wood Horizontal Siding Asbestos
 Concrete Block Wood Vertical Siding Vinyl
 Stone Wood Shingles Aluminum/Metal
 Stucco Other: _____
*Roof Materials: Asphalt/Composition Shingles Metal: 5V Crimp, Standing Seam, etc.
 Asbestos Other: _____

PROPOSED PROJECT: Alterations/Changes

*Project Type: Please check all that apply.

- Repairing Existing Structure(s)
- Restoration/Rehabilitation
- New Construction/Addition
- Relocation/Moving a Structure
- Demolition
- Paint
- Interior Work Only
- Excavation/Ground Disturbing Activities
- Fencing/Landscaping

*Project Description: Please describe in detail the proposed project, including any new construction, demolition or removal or replacement of existing materials, and all other proposed changes to the current structure. Attach an additional sheet if necessary.

Removal of existing wooden stairs and sidewalk. Replace with concrete stairs and new concrete sidewalk. The old water meter cover, will be put in the new sidewalk

*Affected Elements: Please check any structural systems or elements that will be affected by this project.

- Walls/ Structural
- Roof
- Foundation
- Siding / Stucco / Façade Work
- Porches/ Entryways/ Porte-Cocheres
- Steps or Stairways
- Windows
- Doors
- Painting / Finishes
- Decorative Architectural Details/ Elements

I certify that the information provided above is true and accurate to the best of my knowledge. I understand and acknowledge that any false information or deviation from the original documents may render a certificate issued under this application null and void, unless approved by the Historic Preservation Board and/or its staff, as may be applicable.

Clyde Black
 Signature
Clyde Black
 Print Name

Sept 8, 2025
 Date

REQUIRED SUPPORTIVE MATERIALS

- Detailed plans (site plans and architectural renderings/elevations), if applicable.
- Color and material samples/examples and/or specifications.
- Color photographs of the property and specific areas to be addressed, in their current condition.
- Documentation showing that the proposed work is consistent with the City of Zephyrhills Historic Design Guidelines, US Secretary of the Interior's Standards, and CRA Design Standards.
- Cost Estimates, from a licensed contractor, architect and/or engineer, for all proposed work.



APPLICANT INFORMATION

*Property Owner: Cheryl Black
*Mailing Address: 5152 21st St Zephyrhills, FL 33542
*Email Address: fantasia1527@yahoo.com *Phone #: 561-907-0801
Applicant, if different: _____
Mailing Address: _____
Email Address: _____ Phone #: _____
How did you hear about this program? city
Have you received prior funding under this program in the last 12 months? Yes No

SUBJECT PROPERTY INFORMATION

*Street Address: 5527 11th Street Zephyrhills, FL 33542
Designation Name: _____ District Name: _____
*Parcel/Tax ID #: 11-26-21-0010-11800-0030 *Acreage: 8,276 sq ft
*Construction Year: _____
Is the property listed on a Local, State or National Historic Registry? Yes No
If no, are you in the process of applying for listing on a historic registry? Yes No

PROJECT PROPOSAL

*Brief Description: Please describe in detail the proposed project, including any new construction, demolition or removal or replacement of existing materials, and all other proposed changes to the current structure. List each type of work separately. Attach an additional sheet if necessary.

Removal of existing wooden stairs and broken sidewalk. Replace with concrete stairs and new concrete sidewalk. The old water meter cover will be put in the new sidewalk.

*Estimated Total Project Cost: \$ 4000

*Funding Amount Requested: \$

*Estimated City Match: \$

*Estimated Project Start Date:

*Estimated Project Completion Date:

I certify that the information provided above is true and accurate to the best of my knowledge. I further acknowledge and agree to abide by the terms and conditions of this program as presented in the program guidelines.

Cheryl Black

Signature

Sept 8, 2025

Date

Cheryl Black

Print Name

9/7/2025

Revision:1



35317 Flowerfield Ln, Dade City, FL 33525
Office Phone## (352) 834-5933
Office@Integritysolutionsflorida.com

Attn: Hosue Sidewalk & steps renovation
Address: 11th st, Zephyrhills, Fl 33542

Thank you for the opportunity to provide this quote.
We appreciate your consideration and are pleased to present the following proposal for your review:
Please don't hesitate to email or call if you have any questions or concerns.
May you have a blessed day.

Concrete Scopes Bid..... Total Base Bid: \$ 4,000.00
*** Please see last page for breakout Summary***

Inclusions and scopes of work for the project:

Demolition Scope of Work

1. Removal of Existing Entry Structure

Demolition and removal of 3 existing wooden steps and the wooden landing at the front entrance of the house.

2. Side Wall Demolition

Demolition and removal of the existing side wall extending from the house to the street connection.

3. Disposal

Includes proper disposal of all demolished materials and debris in accordance with local regulations.

New Concrete Scope of Work

Site Preparation

Includes site grading, dirt compaction, and leveling to accommodate multiple slab elevation changes.
All labor and equipment necessary for compaction and site readiness are included.

Concrete Steps

Installation of 3 to 4 new concrete steps (final count pending elevation confirmation).
Each step to be 4 feet wide by 12 feet deep.

New Concrete sidewalk :

Includes a new sidewalk leading from the house to the street connection.
Sidewalk dimensions: 3 feet wide by 35 feet long.
Pouring of concrete will be a uniform thickness of 4 inches.

Finish

All concrete surfaces to receive a standard light broom finish.

We have made the following clarification and exclusions:

- 1 Does not include any plumbing work or related installations
- 2 Does not include any electrical work or related installations.
- 3 Any concrete finish other than the above mention and other than the finish face of Retaining south and east walls
- 4 Procurement or import of dirt for leveling purposes is not included; dirt is to be sourced by others at this time
- 5 The concrete slabs will be a uniform 4-inch thickness throughout.
- 6 Excludes any gutters or drains.

Summary :

Concrete Scopes Bid..... Total Base Bid: \$ 4,000.00

**Thank You for the Opportunity to Provide this Proposal
If you hace any question or concerns, Please do not hesitate to contact me.**

Sincerely,

Joey Bautista
Project Manager

Office Phone #: (352) 834-5933
Cell Phone #: (407) 466-2984
jbautista@integritysolutionsflorida.com

Notice to Proceed:

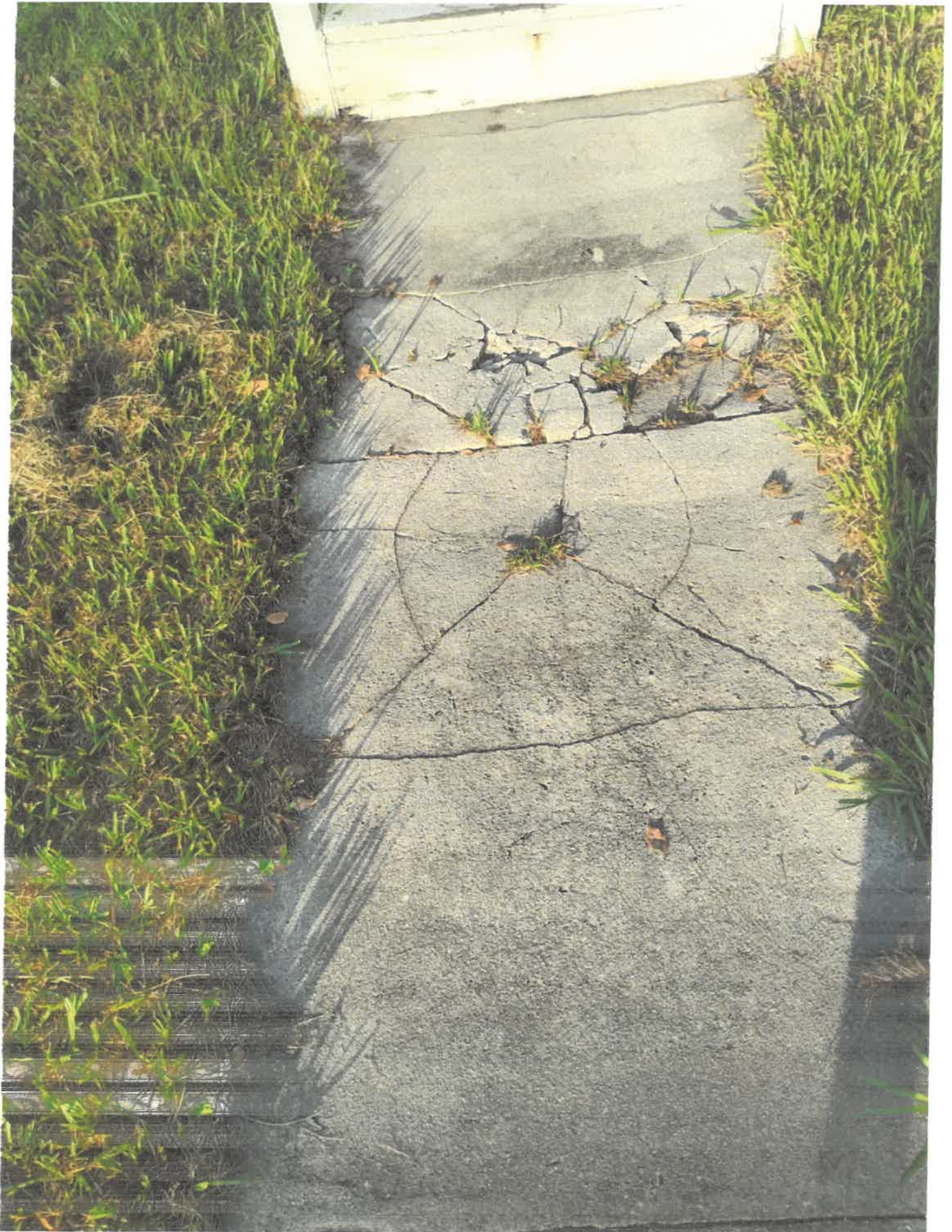
Please Sign/Date and Print Name



BUILT ON INTEGRITY, DEFINED BY QUALITY













Staff Report Memorandum

To: Historic Preservation Board
From: William McCaw – Community Planner
RE: 38517 5th Avenue. – Certificate of Appropriateness
Date: October 30th, 2025

I. BACKGROUND & INFORMATION

A. History | Application Summary

A demolition permit application and a building permit application was submitted to the City by Antwon Gildon, for the Zephyrhills Main Street organization for the property at 38517 5th Avenue, a designated contributing resource to the Zephyrhills Historic District. The district and resources within fall under the regulations of city ordinance No. 774-01, as amended.

Where building permits are submitted, historic preservation staff is added to the review within our permitting system to ensure compliance with COA requirements.

B. Subject Property Information

38517 5th Ave. is the Home Theatre, a historic structure built with stucco and a masonry façade in the vernacular style with an attached corrugated steel Quonset Hut. The structure was erected in 1948 and previously served as a focal point of the historic main street within the Historic District. The applicant contracted architectural and engineering consultants to perform an analysis of the current structure to determine what steps would need to be undertaken for restoration and rehabilitation of the structure.

The analysis revealed many deficiencies across the structure internally, with the façade, the roof, and structural supports. The roof of the primary structure has visible roof staining directly over the structural walls, indicating draining issues. These draining issues continued along the structure of the Quonset hut where the foot pad meets the adjacent building. These drainage issues have contributed to damage to the primary structure and structural damage to the Quonset Hut.

Included below are photos detailing extensive damage throughout both structures. Water intrusion in the primary structure has led to floors and ceilings sagging, significant mold development throughout the structure and within joints in the mortar on the front façade, and damage to the marquee at the front of the building. In the Quonset hut the water intrusion issue has led to the frame connections for the supporting steel I-beams to rust away, panels to stain, rust and develop mold, and damage overtime to the building envelope.



Image 15: Smooth second floor stucco finish.

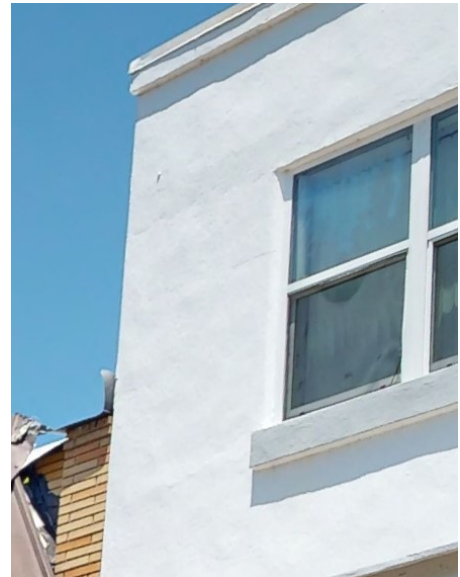


Image 16: Cracks visible under exterior finish coats.



Image 17: Artistically textured stucco.



Image 18: Failing stucco and CMU Quonset Hut.



Image 19: Wrapping of corrugated metal material at rear of theater.



Image 20: Corrugated metal sitting on knee wall.



Image 21: Roof stains visible on membrane roof.



Image 22: Rusted, damaged roof flashing.

Section 2: Structural Photos



Image 1: North Elevation of Quonset Hut



Image 2: East Wall of Quonset Hut. Roof Drainage problem area.



Image 3: Fully deteriorated base of Quonset frame connection.

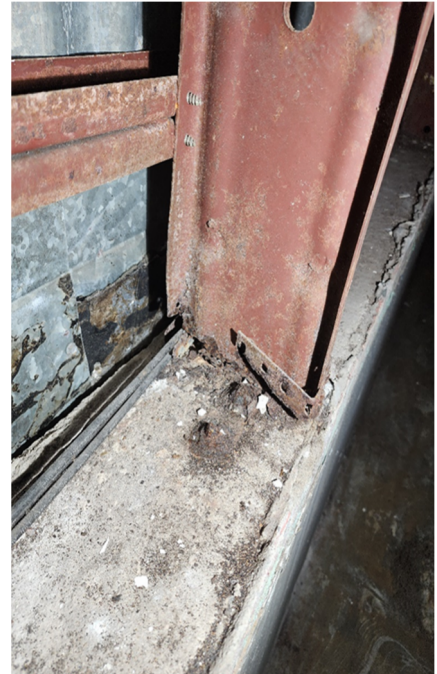


Image 5: Fully deteriorated base of Quonset frame connection.



Image 6: Fully deteriorated base of Quonset frame connection.



Image 7: Fully deteriorated base of Quonset frame connection.



Image 8: Retail 2 Area. Second Floor framing above.



Image 9: Retail 1 Area. Second Floor framing above.



Image 10: Metal/Formwork Decking



Image 11: Metal/Formwork Decking



Image 12: Metal/Formwork Decking, slipping from formwork.



Image 13: Slab crack in Projection Room 2



Image 14: Tile sloping in Apartment 2

II. DATA & ANALYSIS REVIEW

The applicant is requesting to demolish the existing corrugated steel Quonset hut, remove the brick masonry face of the primary structure and restore the façade of the structure to stucco as it was originally built. The applicant is also requesting to remove the current marquee so that the building can be treated for water damage before restoring the marquee with an enhanced support structure.

CRA Design Standards

All properties located within the historic district are also located within the CRA. All building permit applications are forwarded, by the Building Department, to the CRA Director for review of conformance with CRA standards, and approval.

Design Guidelines for Historic Structures

The current design guidelines for historic properties recommends a few key guidelines for design and placement of fences:

- “Protect existing architectural details, and retain distinctive features such as size, scale, mass, color and materials of buildings...”
 - STAFF ANALYSIS (1): The proposed rehabilitation of the property includes restoring the original stucco façade of the primary structure, restoring the marquee as well as installing a replicated vertical sign as was present in the
- “If the original detail cannot be maintained or replaced in its original form, it should be modified without disturbing the character of the structure.”
 - STAFF ANALYSIS (2): The proposed demolition and reconstruction of the Quonset hut can serve to revitalize the currently underused and untenable structure effectively restoring and preserving the cultural significance of the Home Theatre.

2023 Florida Building Code, Existing Buildings, 8th Edition

The Florida Building Code also provides specific guidelines for Historic Buildings with Historic Preservation Goals and Objectives as well as standards for Compliance, Investigation, and Evaluation of properties. Specifically, it enumerates:

- “Historic structures or portions of such structures that do not comply with this code shall be considered to be in compliance if it can be shown to the satisfaction of the building code official that equivalent protection has been provided or that no hazard will be created or continued through noncompliance.”
 - With the removal of the Quonset hut, the property could be brought into compliance with the Building Code, whereas repairs will require to bring the structure to a state where at the minimum it would be required to adequately

US Secretary of the Interior’s Standards for the Treatment of Historic Properties

The US Secretary of the Interior’s Standards outlines the guidelines pertaining to the 4 treatments of historic properties: Preservation, Rehabilitation, Restoration and Reconstruction. Restoration and Rehabilitation provide insights into various proposals from the applicant with the following guidance:

- “Remove Existing Features from Other Historic Periods”

- The proposed removal of the brick/masonry façade that was added to the building following its period of significance aligns with restoring the property to when it was culturally significant. The guidelines further explain that repairing stucco from the restoration period by removing damaged material and patching with new material that duplicates the historic stucco in strength, composition, color, and texture is recommended.
- “Evaluating the overall condition of the structural system to determine whether more than protection and maintenance, such as repairs to structural features, will be necessary.”
 - Based on feedback from the contracted engineers and architects, as well as the state architect, the timeframe to evaluate for protection and maintenance has since passed as the Quonset hut’s structural support systems are at a point of near complete failure, with significant rust throughout the structure. The most troubling structural issue are the multiple support steel beams that have rusted at the point where they meet the concrete footpad. There is a high likelihood that the structure is beyond the point of repair and would need completely replaced and/or reconstructed.
- “Use the same forms, materials, and color range of the historic building in a manner that does not duplicate it, but distinguishes it from the original building.”
 - The proposed fence will be of similar wooden materials to the existing fence.

III. RECOMMENDATION

The proposed demolition of the Quonset hut and rehabilitation and restoration of the primary structure is partially in conformance with historic design guidelines, as well as the City’s Land Development Code. Staff recommend approval of a certificate of appropriateness for the proposed construction for the primary structure. Staff recommends continuing the certificate of appropriateness to a date uncertain for the demolition of the Quonset hut following a 3rd party provided cost estimate for restoration of the Quonset hut and further review of the cost of preserving the structure compared to the cost of removing and replacing it as well as review of the proposed use and what limitations preserving the structure presents.

City of Zephyrhills
Historic Preservation Board
5335 8th Street
Zephyrhills, FL 33542
813-780-0002
www.ci.zephyrhills.fl.us

Application for CERTIFICATE OF APPROPRIATENESS

REQUIRED SUPPORTIVE MATERIALS

- Detailed plans (site plans and architectural renderings/elevations), *if applicable*.
- Color and material samples/examples and/or specifications.
- Color photographs of the property and specific areas to be addressed, in their current condition.
- Documentation showing that the proposed work is consistent with the City of Zephyrhills Historic Design Guidelines, US Secretary of the Interior's Standards, and CRA Design Standards.



APPLICANT INFORMATION

***Property Owner:** Main Street Zephyrhills Inc.
***Mailing Address:** 5335 8th Street
***Email Address:** director@mainstreetzephyrhills.org ***Phone #:** 8137801414
Applicant, if different: _____
Mailing Address: _____
Email Address: _____ **Phone #:** _____

SUBJECT PROPERTY INFORMATION

***Address:** 38521 5th Avenue
Designation Name: Home Theater **District Name:** _____
***Parcel/Tax ID #:** 11-26-21-0010-15200-0120 ***Acreage:** 0.16
***Property Type:** Owner-Occupied Rental Vacant Other: _____
***Square Footage:** 3600 approx ***Number of Stories/Floors:** 2
Construction Year: 1952 **Architectural Style:** _____
***Exterior Wall Materials:** Brick Wood Horizontal Siding Asbestos
 Concrete Block Wood Vertical Siding Vinyl
 Stone Wood Shingles Aluminum/Metal
 Stucco Other: _____
***Roof Materials:** Asphalt/Composition Shingles Metal: *5V Crimp, Standing Seam, etc.*
 Asbestos Other: _____

PROPOSED PROJECT: Alterations/Changes

***Project Type:** Please check all that apply.

- | | |
|--|--|
| <input type="checkbox"/> Repairing Existing Structure(s) | <input type="checkbox"/> Paint |
| <input type="checkbox"/> Restoration/Rehabilitation | <input type="checkbox"/> Interior Work Only |
| <input type="checkbox"/> New Construction/Addition | <input type="checkbox"/> Excavation/Ground Disturbing Activities |
| <input type="checkbox"/> Relocation/Moving a Structure | <input type="checkbox"/> Fencing/Landscaping |
| <input checked="" type="checkbox"/> Demolition | |


***Project Description:** Please describe in detail the proposed project, including any new construction, demolition or removal or replacement of existing materials, and all other proposed changes to the current structure. Attach an additional sheet if necessary.

The Main Street Zephyrhills, a 501 c3 organization in conjunction with the State of Florida Historic Preservation and Cultural Affairs, will restore the exterior facade of the Home Theater and create a cultural arts center for east pasco county. The State has provided \$2.5 million dollars for the rehabilitation of the theater for a cultural arts center. The state architect reviewed the building as part of the grant process and approved the demolition of the quonset hut. As part of the grant, Main Street hired KMH Architects who specialize in historic preservation to evaluate the building. See attached report, it is the recommendation of the architect to remove the quonset hut due to extreme damage. The exterior facade and marquee will be recreated to the original appearance.

***Effected Elements:** Please check any structural systems or elements that will be affected by this project.

- | | |
|---|--|
| <input checked="" type="checkbox"/> Walls / Structural | <input type="checkbox"/> Steps or Stairways |
| <input checked="" type="checkbox"/> Roof | <input type="checkbox"/> Windows |
| <input type="checkbox"/> Foundation | <input type="checkbox"/> Doors |
| <input checked="" type="checkbox"/> Siding / Stucco / Façade Work | <input type="checkbox"/> Painting / Finishes |
| <input type="checkbox"/> Porches / Entryways / Porte-Cocheres | <input type="checkbox"/> Decorative Architectural Details / Elements |

I certify that the information provided above is true and accurate to the best of my knowledge. I understand and acknowledge that any false information or deviation from the original documents may render a certificate issued under this application null and void, unless approved by the Historic Preservation Board and/or its staff, as may be applicable.



 Signature
 Antwon Gildou

 Print Name

10-21-25

 Date

ZEPHYRHILLS MAIN ST THEATER



BUILDING ASSESSMENT

July 14, 2025



EXECUTIVE SUMMARY

KMF Architects has undertaken a comprehensive assessment of the historic theater building located in the heart of Zephyrhills. This study, in tandem with a full point cloud scan of the structure, is being completed as a critical first step prior to any demolition or new construction. The purpose of the assessment is to document existing conditions and preserve the cultural and architectural significance of a structure that has served as a central fixture in the community's physical and emotional landscape for generations.

The historic theater has long embodied the spirit of Zephyrhills. Over the decades, it has been a venue for dinners, dances, meetings, and film screenings—truly anchoring the social life of the town. The building currently presents a prominent brick façade along the street, with two adjacent retail spaces that have evolved with the changing needs of their occupants. The iconic theater marquee is no longer operational and is in visible disrepair, though it remains a landmark feature. A later addition—a false front with a centered ticket booth—now serves as the primary entrance.

The building interior includes a concessions area and two theater spaces on the first floor. The second floor, accessible via an external entrance, contains the projection room for the smaller theater and two modest apartments, each approximately 650 square feet. This layered functionality and adaptive use over time underscores the building's enduring role in Zephyrhills' civic life.

The following will thoroughly document the building's architectural features—both historic and adaptive—that are critical to preserve in any future intervention. Particular attention is given to original construction materials, spatial configurations, and character-defining elements such as the marquee, ticket booth, and theater volumes. The report also outlines areas of concern that require stabilization or repair. In addition, it identifies portions of the structure that may be considered for selective demolition due to deterioration or non-contributing alterations. These findings will serve as a foundation for the next steps in the restoration process, ensuring that any work performed honors the building's historical integrity while allowing it to serve the community once again.

SCOPE OF THE ASSESSMENT AND OBJECTIVES

Scope

1. Comprehensive Building Assessment
 - a. Evaluate the conditions of the materials on site
 - b. Document the existing architectural conditions of the theater
2. Building Envelope Evaluation:
 - a. Exterior Walls: Assess the condition of walls for structural integrity, insulation effectiveness, and any signs of wear or damage.
 - b. Roofing Systems: Evaluate the roof for leaks and overall durability to ensure protection against weather conditions.
 - c. Windows and Doors: Inspect windows and doors for energy efficiency, security, and proper sealing to prevent air and moisture infiltration.
3. Delineate the Demolition/Restoration Line:
 - a. Identify component requiring preservation, restoration or stabilization
 - b. Outline areas appropriate for selective demolition due to deterioration or non-historic additions

Objectives

1. Preserve the historical and architectural significance of a landmark building central to Zephyrhills' identity
2. Provide a detailed and accurate record of existing conditions to inform any future interventions
3. Establish a clear framework for restoration and selective demolition to guide thoughtful revitalization
4. Support compliance with preservation standards of local AHJ
5. Lay the groundwork to integrate the theater as a functional and vibrant space for the community

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PART F – MECHANICAL EVALUATION

PART G – ELECTRICAL EVALUATION

PART H – PLUMBING EVALUATION

PART A – EXISTING SITE

Section 1: Aerial View



Image 1: Aerial Site View

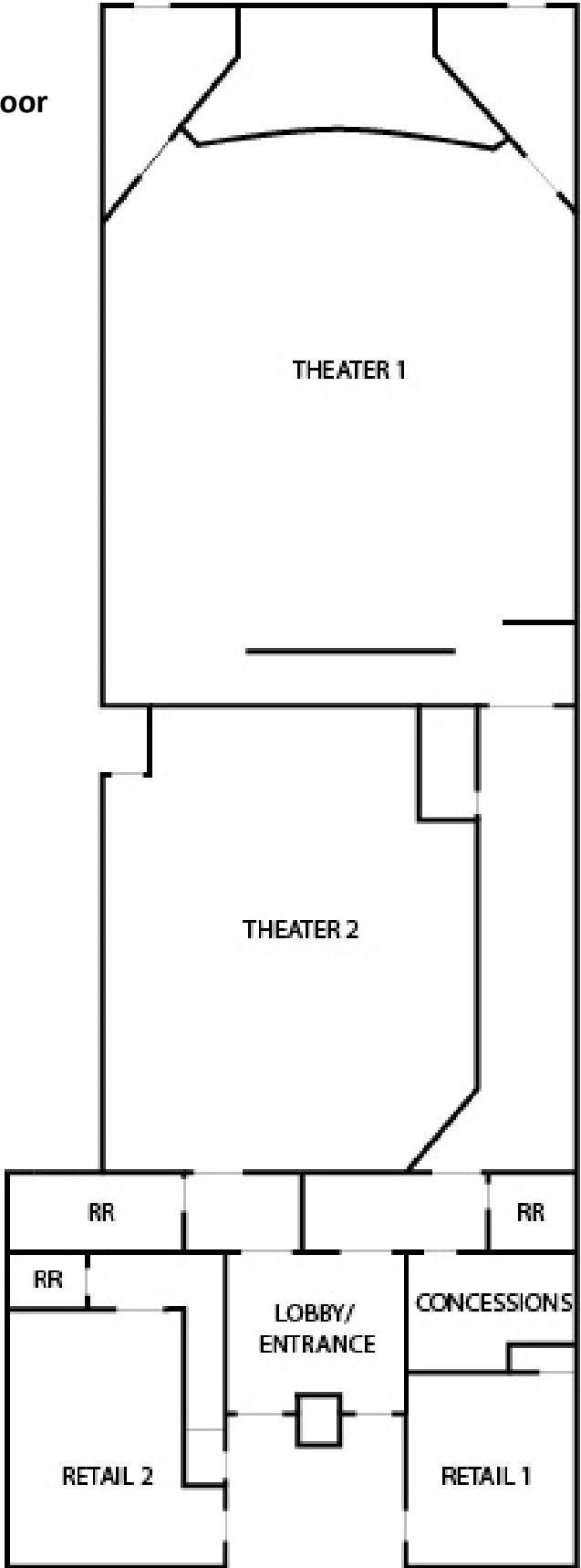
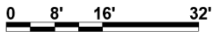
Section 2: Existing Single Line Plan – First Floor

Graphic Generated from Point Cloud

Data retrieved on-site.

Note: The grade of the first floor changes and the theater space themselves are sloped. For this assessment at "grade" is considered the first floor.

1/16" = 1' - 0" if printed at 8 1/2" x 11"

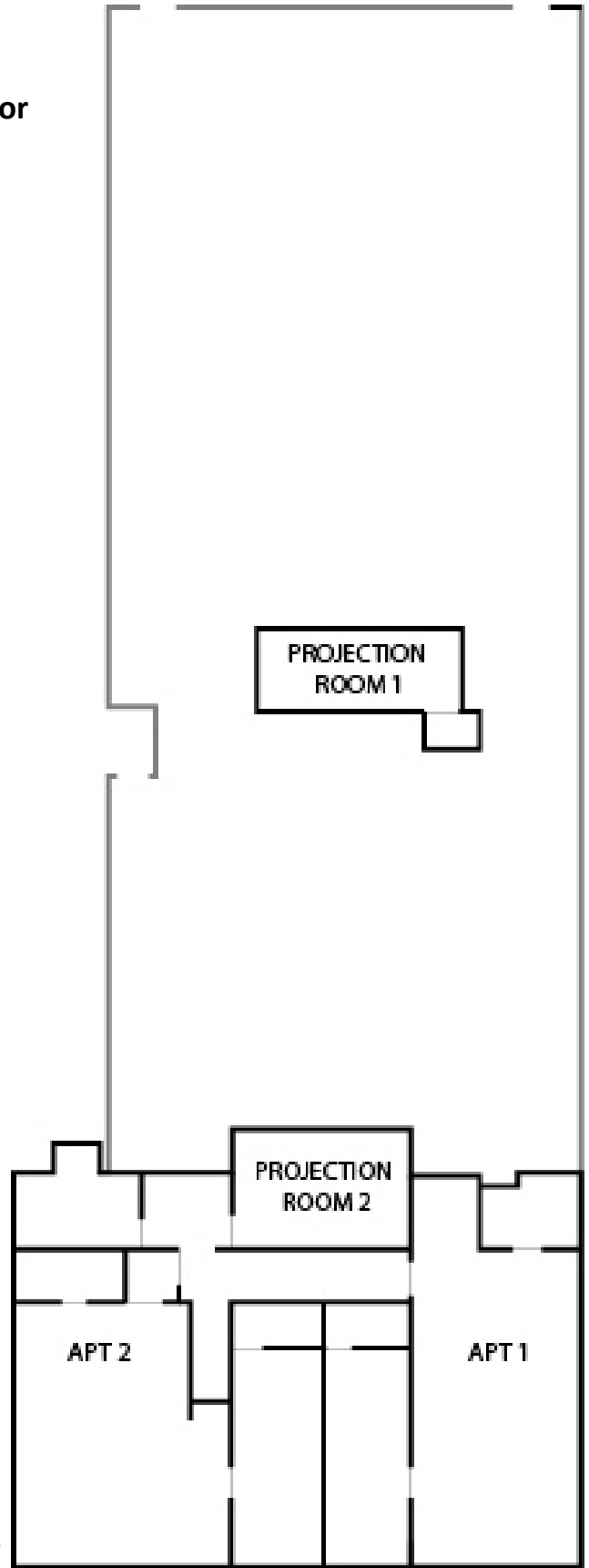
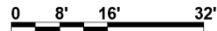


Existing Floor Plan – Second Floor

Graphic Generated from Point Cloud

Data retrieved on-site.

1/16" = 1' - 0" if
printed at 8 1/2" x 11"



PART B – EXTERIOR ENVELOPE

Section 1: Exterior Walls



Image 2: Theater Facade

1. Brick Walls

- a. **Construction:** First floor brick masonry construction with both masonry and steel structure behind.
- b. **Condition:** First floor brick masonry is in good condition, second floor stucco wall in need of minor repairs.
- c. **Recommendations:** The first-floor brick wall along the theater's front façade is in excellent overall condition, contributing significantly to the building's street presence. However, this brick is not a historic material. Historic photographs document the building has had a decorative finish but was not brick. The final design decision to keep the material, or return to historically accurate material will be made by the design team after further investigation of significant historic time period.

If brick material is kept as is a minor aesthetic issue exists at the sidewalk level on the left side of the building, where masonry patch material has been spread over

the brick face. While not structurally critical, this area would benefit from restoration to achieve a continuous and consistent brick appearance.

The existing patch may be removed using a masonry chemical cleaner or by carefully scraping the surface. If the material was applied to conceal mismatched brick, a proper brick and mortar match will be sourced to replace it appropriately. Additionally, the masonry opening for the glazing on the left side of the building contains a significant amount of mastic or masonry compound in the top left corner, which should be removed along with any residue on the surrounding brick face.

The brick columns flanking the theater entrance are in good condition and are distinguished by their stack bond soldier course pattern with three rows of stacked header courses near the top. However, at the connection between the main façade and the left column, mortar joints show signs of deterioration and biological growth. This area requires scraping to a sound depth and repointing with appropriate mortar to restore structural and visual integrity. On the right side of the building, the retail façade has several old anchor locations that will need mortar patching and repair to blend with the surrounding brickwork. In summary, while the front masonry is largely well-preserved and structurally sound, targeted masonry cleaning, repointing, and aesthetic repairs will enhance the visual continuity and ensure long-term durability. Addressing these minor issues with appropriate materials and techniques will help maintain the historic integrity of the theater's prominent street-facing elevation.



Image 3: Masonry patch material.

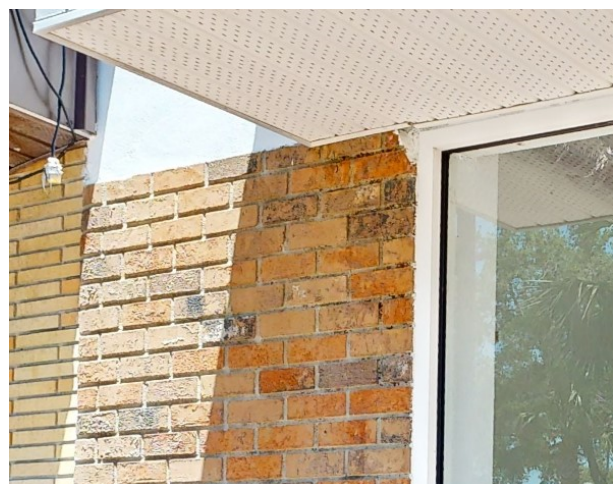


Image 4: Mastic at glazing opening.



Image 5: Left column mortar joint line connection to facade.



Image 6: Biological growth in mortar joint.



Image 7: Brick coursing at column.



Image 8: Anchor point cavities.

2. Stucco Walls

- a. **Construction:** Stucco is used in several locations on-site. The second floor has a smooth stucco at the façade above the brick masonry of the first floor. The entry way is coated with a stucco texture unique to the artist's hand but is a texture close to skip-trowel and stipple texture. The base CMU walls have a fine-sand finish below the metal structure.

- b. **Condition:** The smooth finish stucco at the façade warrants closer inspection to fully evaluate the integrity of the material and underlying substrate. While portions may appear intact, areas of failure may be concealed beneath the surface. In contrast, the decorative thick stucco is in excellent condition. This thick application of stucco was often used in construction to cover larger issues, or to cover aggressively uneven surfaces. Design team to perform selective demolish to find secondary stucco level or other material to discover historic context. Conversely, the thin stucco coat applied over CMU at the theater has exceeded its useful life. It exhibits widespread cracking, delamination, and material loss, indicating a compromised system. Removal and replacement with a more durable and compatible finish will be necessary to restore a cohesive and weather-resistant exterior.

- c. **Recommendations:** Although the stucco material on the façade is salvageable through targeted minor repairs, the structural evaluation of the second floor of the theater has determined that the floor system is unsalvageable. Due to the extent of deterioration and compromised structural integrity, full removal and replacement of the second floor will be required as part of the overall rehabilitation effort.

The thick decorative stucco at the theater entrance will be carefully removed in a discrete location to investigate the underlying historic material and construction layers in this area. This exploratory effort will help determine the original building fabric and inform restoration decisions. Following the investigation, the design team, in collaboration with the owner, will evaluate and select an appropriate exterior finish that best serves the historic character and functional needs of the theater and its entrance.

The stucco applied over the CMU wall is currently in a state of failure, with significant cracking, delamination, and loss of surface material. As it stands, the wall does not meet acceptable standards for a functional and weather-resistant façade.



Image 15: Smooth second floor stucco finish.

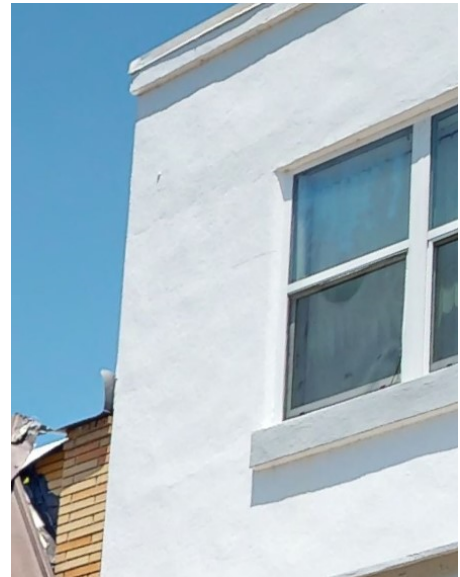


Image 16: Cracks visible under exterior finish coats.



Image 17: Artistically textured stucco.



Image 18: Failing stucco and CMU Quonset Hut.

3. Corrugated Steel – Quonset Hut

- a. **Construction:** The corrugated steel Quonset hut is constructed with structural steel framing that bears on a concrete masonry unit (CMU) knee wall approximately four feet above grade. The steel shell has been covered with various weatherproofing membranes over time, applied in multiple layers.
- b. **Condition:** The Quonset hut wall system is in a state of failure. Rust staining on both the exterior and interior surfaces indicates ongoing water intrusion from weather and rain. The existing weatherproofing membranes show visible signs of damage, including peeling, cracking, and delamination, confirming that the steel shell is no longer adequately protected. Additionally, the connection points between the steel wall and the stucco-coated CMU knee wall show multiple failures in flashing and coating transitions. These gaps allow moisture to penetrate the structure, further compromising the performance of the exterior envelope.
- c. **Recommendations:** In coordination with the structural engineer’s assessment included in this document, and based on a review of the current condition and structural integrity of the Quonset hut, it is KMF’s professional opinion that repair or reconstruction of this element is not economically viable. The extent of deterioration, envelope failure, and the cost of rehabilitating the structure to meet modern performance standards outweigh its functional or historical value.

Historical accounts suggest the Quonset hut was relocated from the local airport and repurposed as part of the downtown theater complex. However, it is not a character-defining feature of the original theater or its historic context. Therefore, KMF recommends that the Quonset hut be demolished. Its removal will not compromise the theater’s ability to serve the community or honor its historic identity.



Image 19: Wrapping of corrugated metal material at rear of theater.



Image 20: Corrugated metal sitting on knee wall.

Section 2: Roof

1. Existing Roof

- a. **Construction:** The existing roof system over the theater entrance, retail spaces, and second-floor apartments is a white built-up membrane. This system appears to have been installed as a continuous roofing solution across the various program areas. The roof has minimal penetrations and supports no existing mechanical equipment. Metal flashing is visible at the parapet along the front façade; however, this flashing does not extend to the rear of the building.
- b. **Condition:** KMF's observations of the roof conditions were made from ground level and reviewed through available aerial imagery. Notably, there is extensive roof staining visible over the structural walls of Apartment 1 and Apartment 2, suggesting prolonged periods of standing water and potential drainage issues in these areas. These stains are concentrated near the front portion of the building, where rust-stained and pinched metal drip edge coping is also present. The combination of staining and visible metal deterioration indicates that water is not being properly directed off the roof, which may be contributing to ongoing wear of the roofing system and associated building elements.
- c. **Recommendations:** The roof system will need to be fully redesigned to address appropriate structural support, slope, and drainage performance across all roof areas. The new design should integrate both the historic character of the theater entrance and the requirements of any planned new construction, ensuring a cohesive and functional envelope. During demolition and construction phasing, the existing roof will be protected and maintained in an operational condition to prevent water intrusion and ensure the continued stability of the occupied portions of the building.



Image 21: Roof stains visible on membrane roof.



Image 22: Rusted, damaged roof flashing.

Section 3: Windows

1. Existing Windows

- a. **Construction:** No original windows remain on the site. The current first-floor windows are non-operable, single-pane metal units that do not contribute to the historic character of the building. On the second floor, the apartment units are fitted with vinyl single-hung residential windows, which are not appropriate for a commercial or historically sensitive structure. Overall, the existing windows lack historic compatibility, energy efficiency, and functionality.
- b. **Condition:** The existing windows are not original to the building; they are currently operational and do not require immediate attention during the demolition phase of the project.
- c. **Recommendations:** As new construction and restoration efforts progress, replacement of the existing units will be necessary to meet modern standards for energy efficiency, durability, and functional use. This presents an opportunity to introduce new window profiles that complement the historic character of the building. Thoughtfully selected window units that reflect the proportions and detailing of the building's original period will enhance both its architectural integrity and street presence.



Image 23: Retail 2 front window.



Image 24: Retail 1 front window.



Image 25: Retail 1 window, left of entrance.



Image 26: Second floor apartment windows.

PART C – BUILDING INTERIOR

Section 1: Steet Approach

- 1. Design Observations & Approach:** As noted in the evaluation of the exterior envelope, several elements of the theater façade are in a state of failure and will require reconstruction—most notably, the second floor and the marquee sign, both of which are critical to the theater’s function and identity. Additionally, through this assessment, certain architectural features have been identified as non-original, including the current brick façade and the circular columns at the entrance, which were later additions. Historically, this area of the building was flat and unadorned, indicating a different architectural intent at the time of original construction. The design team, in close collaboration with Main Street Zephyrhills, will work to determine the building’s period of significance and establish an appropriate course of action for the design and preservation of the theater façade. This approach will ensure that the revitalized building continues to serve the community in both spirit and appearance, honoring the theater that the town knows and loves.



Image 27: Structurally failing marquee sign.



Image 28 & 29: Street approach to theater.

Section 2: Retail Spaces

- 1. Design Observations & Approach:** The first level includes two retail spaces, both accessed from within the main theater entrance, flanking either side of the entry vestibule. Although it is unclear if the existing entry doors are original, they appear to be older than most other doors and hardware remaining on site. Their age and compatibility with the building's character suggest that efforts should be made to retain and restore them where feasible.

Retail 1, located on the right side of the entrance, is defined by a prominent 9'-6" by 5'-8" street-facing window bay. Historic photographs show this opening in several configurations over time—open, glazed, and boarded with alcoves for displaying movie posters—indicating its flexible use and evolving role in the theater's history. On the left side of the entrance is a second window, approximately 5' by 5'-6". Retail 1



Image 30: Retail 1

comprises approximately 240 square feet and includes a single closet space. This unit currently lacks direct access to the theater and does not have an individual restroom. Future use of this space will require substantial reconfiguration to meet current building code requirements. Despite these limitations, the space contributes significantly to the theater's character and street presence, and those qualities should be maintained through careful planning and preservation.

Retail 2, the larger of the two spaces, measures approximately 331 square feet. It features a prominent street-facing window measuring 12'-10" by 5'-6", which, based on historic photographs and records, suggests the space functioned more consistently as a business or retail location throughout the building's history. Similar to Retail 1, this space does not have a finished ceiling and remains open to the structure above. A storage area and restroom were added at the rear of the space at a later date.

Incorporating Retail 2 into the new design will require a thoughtful approach. While the original form of the entrance walls and the existing door should be preserved for their historic character, the interior finishes and added elements lack historic significance and may be reconfigured or redesigned to accommodate future programming needs. Preservation efforts should focus on maintaining the scale, entry configuration, and street-facing presence that contribute to the theater's historic identity.



Image 31: Retail 2

Section 3: Entrance & Lobby

1. **Design Observations & Approach:** The current theater entrance begins with a steep tiled slope immediately after stepping off the public access way, continuing through the length of the lobby to the entrances of the individual theaters. While the tile finish may reflect a particular era in the building's evolution, it is not original to the period of significance and does not meet current accessibility standards. As such, this entry sequence will require complete reconfiguration during the upcoming design phase to meet ADA requirements and ensure safe, equitable access.

The existing exterior doors leading into the lobby and ticket booth are later additions and are not considered historically significant. Determining the appropriate design for a new theater entry will require balancing findings from archival research and oral histories with modern programmatic and accessibility needs. This includes considering circulation patterns, ADA compliance, and the architectural character of the building.

The thick decorative stucco seen on the exterior entrance walls continues into the interior lobby walls, raising questions about the original location and form of the theater's front entrance. To further investigate the evolution of the space, the design team will conduct selective demolition to uncover any remaining original

materials or finishes beneath newer layers as part of the demolition package, which will inform historically appropriate design decisions moving forward.

Currently, a large room is located behind the built-in concessions counter. The configuration of this area, along with the non-standard counter height, suggests that it was not originally intended for concession use. As part of the new design, this space will be re-evaluated and incorporated into the net programmatic square footage to better serve the building's future functions. On the opposite wall of the lobby, a large, out-of-place mirror is mounted, which does not align with the historic character of the space. The mirror will be removed to allow investigation of the wall and underlying structure behind it, potentially revealing original materials or configurations that will further guide restoration and design decisions.



Image 32: Concession counter and support space.

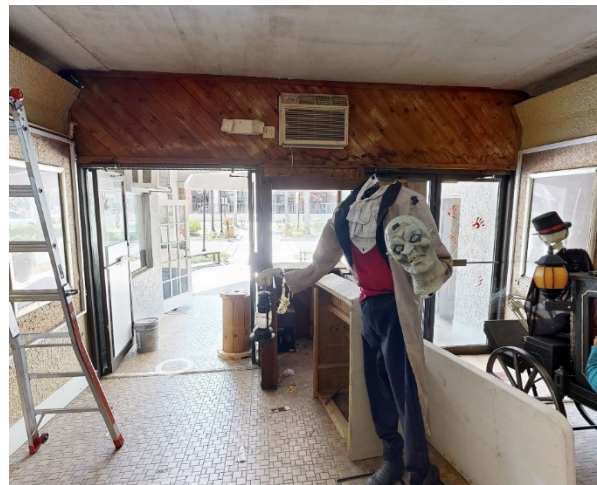


Image 33: Ticket booth and current entrance doors.



Image 34: Left side of Lobby.



Image 35: Theater entrances.

Section 4: Theater Foyers & Restrooms

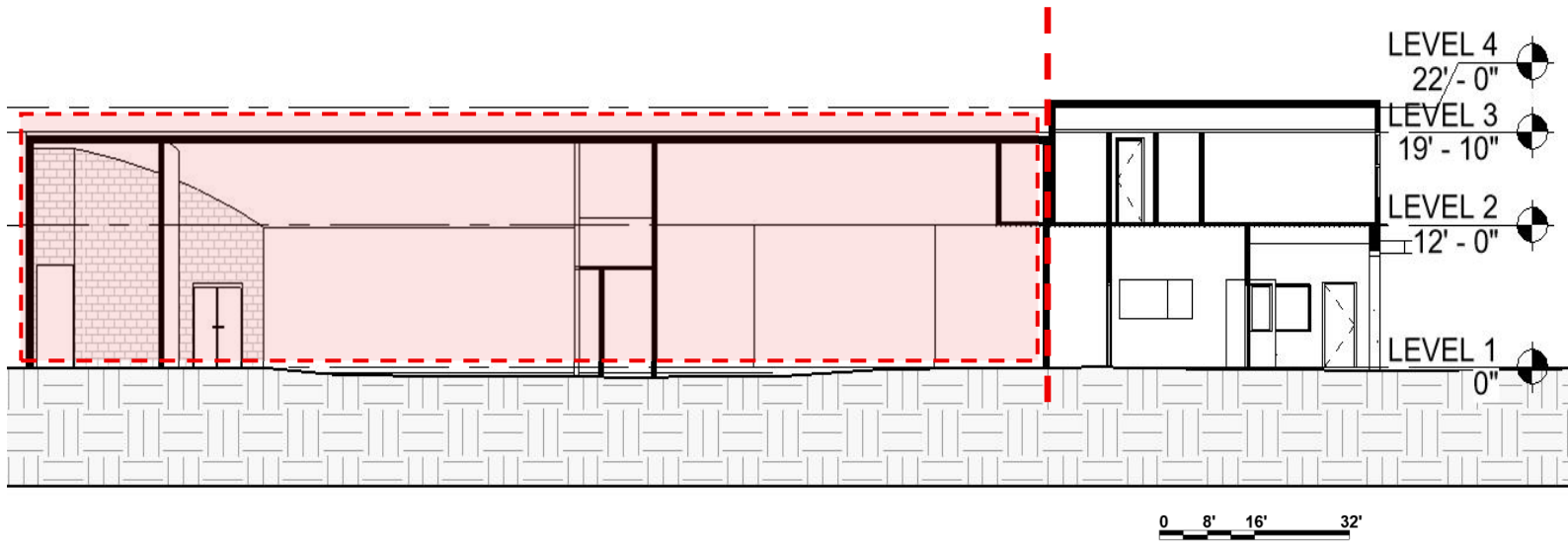
- 1. Design Observations & Approach:** Both theaters are accessed through individual foyers, each originally entered from the main lobby through a set of double doors, which are no longer in place. Within each theater, a single decorative glass hanging lamp remains; these fixtures are noted for their consistent installation, including matching sconce plates, chains, and ceiling hooks. These lamps will be salvaged and either reused in the new design or returned to the owner. Each foyer also contains a single restroom—one male, one female—marked with signage. However, no historic materials remain in these spaces, and the restrooms will need to be fully redesigned and relocated to meet current code requirements during the upcoming design phase.

The back wall of each theater foyer will serve as the delineation line for demolition in the upcoming project phase. All built material beyond this point has been assessed by the design team and determined to be beyond repair, with structural integrity too compromised to justify restoration or reconstruction.



Image 36 & 37: Theater foyers.

2. Phased Demolition & Rehabilitation: Line of historic material to be saved and material to be demolished in the first phase of rehabilitation.



Section 5: Theater One

1. **Design Observations & Approach:** Theater 1, the larger of the two theater spaces, is accessed from the right side of the building through a long, narrow hallway. As patrons move through this corridor, the construction transitions from the original historic building to the adaptive reuse of a Quonset hut supported by a CMU knee wall. The interior steel walls of the hut show varying degrees of deterioration, revealing makeshift wood furring previously used to support now-failed board and plaster finishes, particularly along the base of the knee wall and above, where materials have crumbled. The hallway's low ceilings exhibit frequent rust and water staining along their entire length. Additionally, the hallway floor slopes at a steep, non-code-compliant angle toward the theater, suggesting a former use unrelated to typical theater design.

Inside Theater 1, the full height of the Quonset hut is utilized, with an acoustic tile ceiling installed at the top of the arch. These ceiling tiles exhibit significant staining and damage throughout. The curved steel walls retain remnants of finish material but are heavily stained with biological growth and show widespread rust staining. As with the



Image 38: Theater 1

hallway, finish failures are concentrated along the CMU knee wall where dissimilar materials meet. The concrete flooring further suggests a non-theatrical origin, with two large visible tracks and an apparent infill pour. Unusually, the floor slopes upward about a quarter of the way into the space, inconsistent with typical auditorium layout. This physical evidence points to a prior use, and the design team, along with Main Street Zephyrhills, will continue researching the site's early functions to inform future decisions, but may never be discovered.

At the front of the space, a large projection screen remains in place, hung in front of a built stage that includes two small side wings concealed from audience view. Each wing is equipped with an exit door at the rear of the building. However, as previously noted throughout this assessment, the Quonset hut structure lacks historic significance, and its condition has deteriorated beyond practical repair. Given the extensive material failures, compromised envelope, and lack of original intent, it is in the best interest of the theater and the broader revitalization effort to demolish this portion of the building.

Section 6: Theater Two

1. **Design Observations & Approach:** Theater 2, the smaller of the two theaters, is accessed directly from its dedicated foyer and is located within the front portion of the Quonset hut, spatially situated in front of Theater 1. Similar to its larger counterpart, the floor in Theater 2 suggests a previous use unrelated to theater programming, with irregular slopes and surface conditions inconsistent with typical audience space design. The acoustic ceiling in this space is installed at a lower height than in Theater 1, resulting in a more intimate interior environment. The theater is equipped only with a projection screen and has a single exit door located on the side of the hut. Conditions observed throughout Theater 2 mirror those of Theater 1, including extensive material degradation, rust staining, and biological growth. Due to these factors and the overall lack of historic significance, this area is also deemed unsalvageable and is recommended for demolition.



Image 39: Theater 2

Section 7: Projection Rooms

- 1. Design Observations & Approach:** Two projection rooms are located on the second level of the building. The projection room for Theater 1 is accessed via the interior hallway leading down to the theater, while the projection room for Theater 2 is accessed through the second-floor apartments, which are entered from the exterior of the building near the entrance to Retail 2. Each room is small and utilitarian in nature, with no significant historic architectural finishes remaining. The only historically valuable elements are the original film projection equipment housed within each space. This equipment will be reviewed during demolition planning, with select components retained on-site as part of the theater's interpretive history, while the remainder will be returned to the owner for preservation or alternative use. Projection Room 1 will be demolished as part of the demolition of the Quonset Hut, however Projection Room 2 is within the confines of the historic CMU walls and will be maintained until new design is confirmed.



Image 40: Projection Room for Theater 1.



Image 41: Projection Room for Theater 2.

Sections 8: “Apartments”

- 1. Design Observations & Approach:** The second floor of the theater is currently laid out as two apartments, with access provided via an exterior entrance on the left side of the theater façade. Historically, these would have been used as support spaces for retails or the theater it self. These units are no longer in livable condition and would require substantial architectural and systems upgrades to meet modern residential standards or generate revenue. Following a structural evaluation, the second-floor framing has been deemed unsalvageable by the structural engineer. Full reconstruction is recommended as the most viable path forward to support future commercial use. As such, residential apartments will not be included in the future programmatic layout of the theater.



Image 42: Current condition of both apartments.

PART D – CIVIL EVALUATION



Evaluation

The Zephyrhills Main Street Theatre project is located at 38521 5th Avenue, within the city limits of Zephyrhills, Florida. The theatre is situated on lots 12 and 13 of block 152 and is approximately 0.16 acres in size. There is an existing unnamed public alley along the rear of the theatre. The associated parcel ID is 11-26-21-0010-15200-120. Refer to **Figure D-1**. This part of the assessment will summarize existing site conditions and proposed demolition activities to be performed as Phase I of this project.



FIGURE D-1

Existing Site Conditions:

The existing building takes up a majority of the two lots while encroaching into 5th Avenue right-of-way and the adjacent lot 14. The overhang of the front entrance to the theatre encroaches 8.6 feet into the 5th Avenue right-of-way and the building encroaches less than 1-ft into lot 14.

Based upon our field investigation, there appears to be a water meter that was more than likely used to meter water for the existing theatre building as pictured below. The meter is located within the 5th Avenue public right-of-way. The nearest fire hydrant is located approximately 191-ft from the front of the theatre building near the northeast corner of 9th Street and 5th Avenue. The hydrant is also approximately 360-ft from the rear of the building. A hydrant flow test should be performed in order to determine if a single hydrant would be sufficient in pressure and flow to protect the future building-out of the theatre.



There is an existing 8-inch sanitary sewer gravity main located in the rear of the building, within the 15-ft wide platted alley.



There are two (2) concrete pads that are used for existing air conditioning units, both of which appear to be connected to the existing theatre buildings.



There is an existing concrete pad at the northwest rear corner of lot 12 that is used for trash can receptacle pick-up.



Phase I Site Demolition:

The following site conditions will be demolished as part of Phase I.

- a. Three concrete pads which seat the existing AC units and trash can staging.
- b. Demolish the existing sloped tile under the covered entry leading up to the face of building wall. Covered entry is pictured below. New design will require ADA reconfigurcation.



PART E – STRUCTURAL EVALUATION



Section 1: Structural Assessment

Retail and Apartment Area

The exterior walls of the retail/apartment area consist of load bearing concrete masonry units on the north, south, and west elevations. On the east elevation a traditional load bearing brick wall exists on the ground floor. Based on observations on-site, its to our best knowledge that the second floor the east wall transitions into concrete masonry units. In addition to carrying the gravity loads from the second floor and roof, the exterior walls act as shear walls to provide the overall lateral stability of the retail/apartment portion of the building. Overall, the exterior walls were observed to be in sound structural condition.

The second-floor framing system consists of a concrete slab supported by light gauge cold formed C- channels. The C-channels are doubled back-to-back. We could not discern if the sets of channels are connected. Horizontal X-bracing was observed within the channel spans for lateral support and strengthening. Each channel was 9 inches in total depth and 1 inch wide. They are spaced at 24 inches on center and span the width of the retail space.

Metal decking was observed directly on the top flange of the C-channels. It was evident that the decking was strictly used as a means of formwork to pour the second-floor concrete slab. It was not used for structural purposes. There are several areas where the metal deck forms appeared to have slipped during the time of construction. Photos of these areas are included below. We could not determine if the concrete slab is structurally reinforced with rebar. But based on the type of construction, it is likely that a minimum amount of welded wire fabric was used within the concrete to help control cracking within the slab.

We could not determine the condition of the second-floor concrete slab from the top side as it was covered mostly in tile. We did notice that the tile in the apartment appeared to be sloping towards the middle of the space. There is also a crack in the exposed area of projection room 2.

The roof framing portion of the structure could not be observed. This was due to the type of ceiling existing above the second floor. The roof framing is most likely constructed exactly like the second-floor framing, as at the time of original construction, it would have been common and cost effective to do so.

Quonset Area

The Quonset Area appears to be at the end of its life-span. There are multiple leaks throughout the Quonset roof made evident by the multiple rust stains on the ceiling tiles.

There is evidence of a long-term roof drainage problem along the east side of the Quonset hut. As rain water slopes down the roof, it collects between the hut and the exterior wall of the neighboring retail space. Over time, this collection of water has thoroughly rusted multiple items along the east side of the Quonset hut. Fully rusted and disintegrated base plates were observed at most of the hut's major building support frames.

Recommendations

Based on the conditions observed, it would not be cost effective to make the structural repairs and updates required to keep the Quonset hut. The demolition of the Quonset portion of the theater is most likely a better long term cost decision.

For assembly loads (100PSF minimum), we recommend demolishing the existing second floor and replacing it with a more robust structural framing system. The existing second-floor framing system was designed for loads in the 30 to 40 PSF range (residential).

The theater entry marquee does appear to retain moisture internally. Rust was observed throughout multiple seams and joints. We also observed water collecting on top of the marquee area. Our structural recommendation is to replace the marquee with a new framing structure.

More site assessments may be required as hidden conditions become observable during the demo phase.

Section 2: Structural Photos



Image 1: North Elevation of Quonset Hut



Image 2: East Wall of Quonset Hut. Roof Drainage problem area.



Image 3: Fully deteriorated base of Quonset frame connection.



Image 5: Fully deteriorated base of Quonset frame connection.



Image 6: Fully deteriorated base of Quonset frame connection.



Image 7: Fully deteriorated base of Quonset frame connection.



Image 8: Retail 2 Area. Second Floor framing above.



Image 9: Retail 1 Area. Second Floor framing above.



Image 10: Metal/Formwork Decking



Image 11: Metal/Formwork Decking



Image 12: Metal/Formwork Decking, slipping from formwork.



Image 13: Slab crack in Projection Room 2



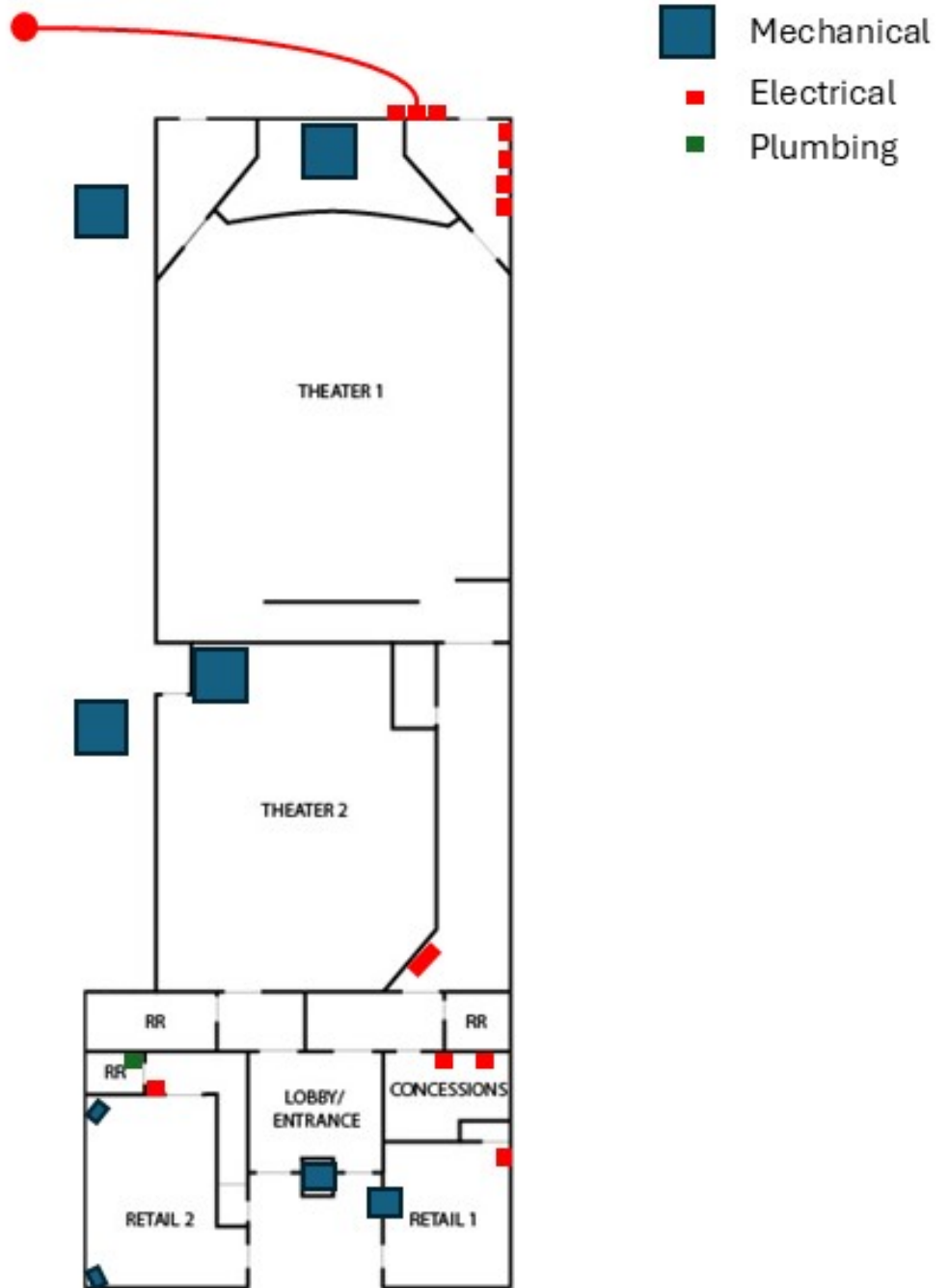
Image 14: Tile sloping in Apartment 2

PART F – MECHANICAL EVALUATION

SGM
ENGINEERING

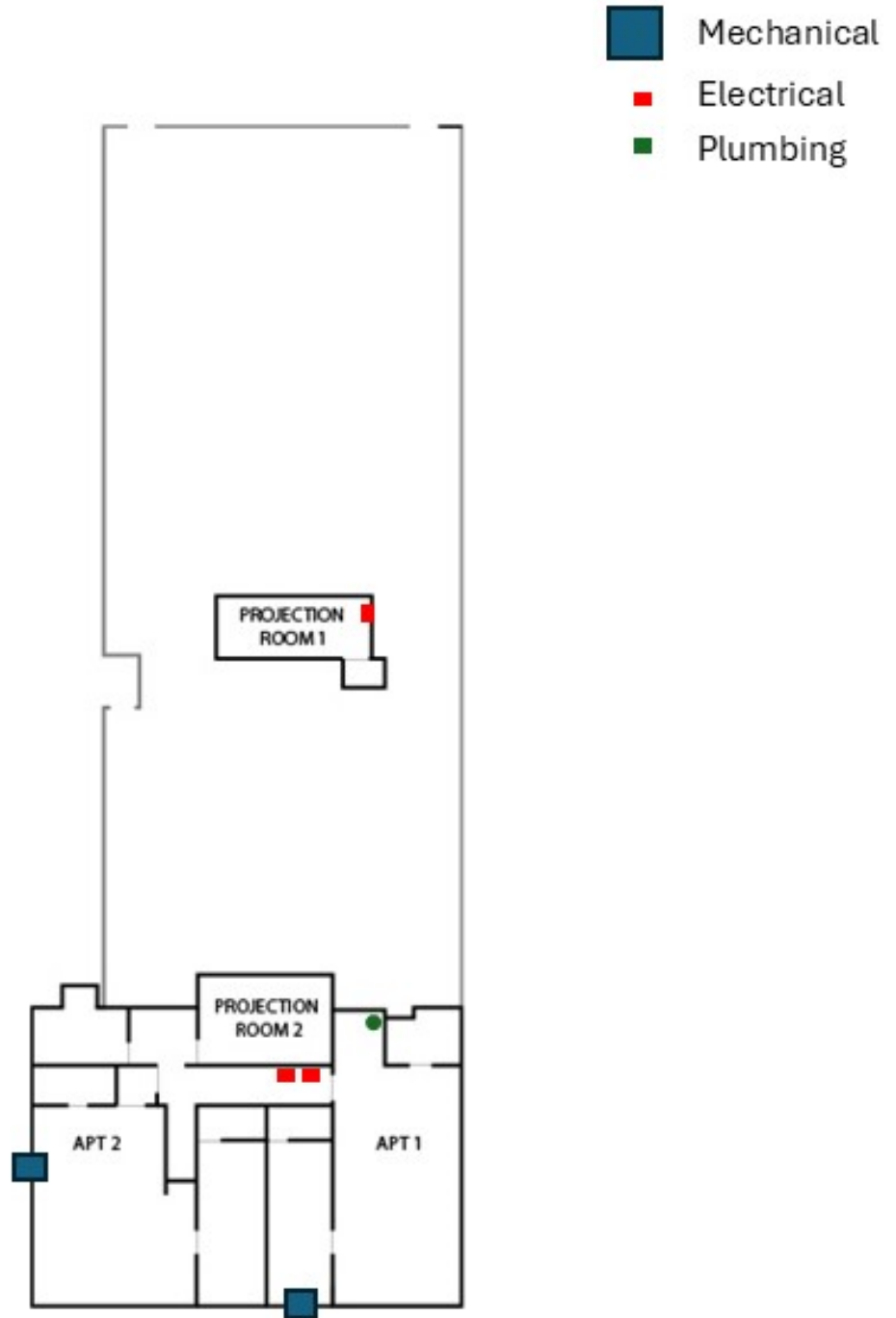
Section 1: Existing MEP Floor Plan – First Floor

Graphic Generated from Point Cloud Data retrieved on-site.



Existing MEP Floor Plan – Second Floor

Graphic Generated from Point Cloud Data retrieved on-site.



Section 2:

The mechanical system is currently made up of direct expansion (DX) split style units, packaged window units, and spot coolers. The DX systems serve the theaters and supporting areas. The window units serve the front entrance and adjacent areas. The DX systems range in age, estimated to be approximately 10-15 years old. The Window units appear to be 10 years old. There are also spot coolers which appear to be fairly new at around 3 years old.

The DX split system air handling unit serving Theater 1 has exterior insulated rectangular ductwork. The ductwork is connected to supply and return grills above and below the screen.

The DX split system serving Theater 2 is on the left side of the screen with its respective supply and return grills adjacent to and above the air handling unit.

Window units are located at the lobby entrance, Retail 1, and Apartment 1 & 2.

Spot coolers are located in Retail 2.

Recommendation:

The mechanical systems shall be designed to the following indoor/ outdoor design conditions:

Outdoor Conditions:

- Heating Season: 35 deg. F Dry Bulb
- Cooling Season: 94 deg. F Dry Bulb. 78 deg. F Wet Bulb
- Air Cooled Condensing Unit Condition: 95 deg. F Dry Bulb

Indoor Conditions:

- Occupied Air-Conditioned Spaces: 74 deg. F, 55% RH. Winter: 71 deg. F.
- Unoccupied Air-Conditioned Spaces: 80 deg. F, 60% RH. Winter: 50 deg. F

Mechanical Systems

The Mechanical systems described below are preliminary and must be confirmed during the design phase.

Condensing Units

Two condensing units are recommended as the source of cooling. The sound/noise levels will need to be considered when determining the final location. Enclosure of the condensing yard is recommended for noise and equipment safety/security.

Air Handling Unit

(2) Single zone air handling units are recommended for the facility, one serving each floor. These air handling units shall connect to supply and return ductwork located through the space with appropriately placed diffusers. These units shall also include resistive heating coils.

General Exhaust

Restrooms and janitors' closets will be ventilated and exhausted according to the Florida Mechanical Code, based on the spaces' floor area and fixture count.



Theater 2 HVAC System



Theater 1 HVAC System



Apartment window unit



Spot cooler

PART G – ELECTRICAL EVALUATION

SGM
ENGINEERING

Section 1:

The electrical system consists of multiple electrical services originating from a weatherhead utility drop coming from a bank of mounted transformers. Voltage is 120/208V, 3 phase 4 wire. This service is split at a wireway within the back of the building Quonset hut. This includes a series of disconnect switches that feed a respective panelboard for branch circuiting. All wiring appears to be a combination of conduit/wire and MC cable. Receptacles are located throughout the facility. Lighting is made up of fluorescent and incandescent type fixtures. Switching appears to be all manual. The emergency lighting is provided by use of battery units or “bugeye.” The low voltage system includes ethernet services and typical telephone. The fire alarm system includes a fire alarm control panel (FACP) and smoke detectors, horn/strobes, pull stations, and modules.

Recommendation:

Replace electrical service with a new 120/208V, 600A, 3 phase, 4 wire type originating at the same utility pole, but switching to underground to feed a new main distribution panel. This distribution panel will feed a branch panel. Surge protection devices will be installed at new panel boards. Parallel connected surge protection devices (SPD’s) will be used and they will be connected to minimize the lead length of the SPD. The SPD will be selected to match the available fault current at the equipment it protects. Copper wiring shall be utilized for new distribution feeders after the service. All branch circuit wiring shall be copper.

A new telecom service is recommended to a dedicated communications closet or wall mounted cabinet in a conditioned area. A network of unshielded twisted pair cables (UTP) and fiber optic cables (FO) for horizontal cabling, backbone cabling, riser cabling, tie cabling, and patch cords is recommended. Terminate FO Cables on rack mounted Fiber Distribution Centers (FDC’s), and UTP cables on rack mounted modular patch panels will be provided. Identification of all cables and terminations in accordance with EIA/TIA 606 using an alphanumeric sequence. At a minimum all terminations and testing will be provided in accordance with EIA/TIA 568.2-1, Category 6, with at least a 15-year warranty. Provide an installation that requires horizontal cable supporting data applications must meet at a minimum the Category 6 performance requirements as listed by EIA/TIA standards for the link and channel.

A new fire alarm system is recommended, building wide, in accordance with NFPA 72, NFPA 101, and Florida Building Code will be provided. System components will include new manual pull stations, heat detectors, and horn/strobes. The system additions will utilize class B wiring circuits. The secondary power supply may require additional batteries to provide the necessary backup power for fire alarm functions. The secondary

power supply shall be of sufficient capacity to operate the fire alarm system under quiescent load for a minimum of 24 hours and, at the end of that period, shall be capable of operating all alarm notification appliances used for evacuation for 5 minutes. The fire alarm system shall have a 100% acceptance test performed by the installing contractor in accordance with the requirements of NFPA-72 prior to request for final inspection from the authority having jurisdiction. Any software required for programming revisions along with the program at completion will be turned over to the Owner for any future additions or alterations that may need to be accomplished.

Lighting

In general, lighting will be LED fixtures. The average-maintained foot-candle levels for calculations shall be as indicated below and for areas not included in the IES Handbook will be used for acceptable levels of illumination. Needs will be determined by new design throughout phases of the proposed spaces, ie..

- | | | |
|----|------------------------------|------|
| 1) | Offices | 50fc |
| 2) | Corridors | 20fc |
| 3) | Mechanical /Electrical Rooms | 30fc |
| 4) | Storage Areas | 30fc |

Fixture types and quantities shall also meet power density requirements in addition to control with occupancy/ vacancy sensors to comply with Section C405 of the 2023 Florida Building Code.



Existing electrical service



Service disconnects & wireway



Typical panelboard



Fire Alarm Control Panel

PART H – PLUMBING EVALUATION

SGM
ENGINEERING

Section 1:

The plumbing system includes domestic water, sanitary/sewer, fixtures, water heaters, and associated piping and valves.

The first floor restrooms include water closets and lavatories. The lavatories are supplied by cold water lines with a local instantaneous water heater.

The second floor apartments are served by a tank style water heater supplying the lavatories and sinks.

Recommendations:

The plumbing system components will include connecting a new restroom(s) to existing domestic water riser supplied by an underground water main. The domestic water will supply all various fixtures and equipment. The plumbing fixtures (e.g., water closets, urinals, lavatories, and sinks) will be efficient and commercial grade. The waste and vent systems will collect waste from the various fixtures placed throughout the building. The new restrooms will connect to the existing sanitary main. The venting will be routed up through the roof where it will terminate to the exterior side of the building.

Domestic Cold Water

Water piping above grade will be Type "L" hard copper tube connected with soldered or mechanical press joints. Two-piece full port bronze ball valves will be provided for each battery or fixture group to isolate cold and hot water piping for servicing. Water hammer arrestors will be provided as required by code to protect the domestic water piping system. The arrestors will be located above accessible ceilings wherever possible or with access panels for maintenance to access.

Domestic Hot Water

All hot water piping shall be interior, above grade. Hot water piping specifications will be the same as above. Temperature limiting mixing valves will be provided at each individual fixture as required by current codes. Low consumption fixtures will be provided in accordance with current codes. Hot water piping will be insulated with one-inch thick flexible elastomeric or polyolefin insulation.

Sanitary DWV Piping

Drainage, waste, and vent piping will be schedule 40 solid wall PVC with solvent welded fittings and couplings. Vents through the roof will be positioned away from visible areas and at least 10' from, or 3' above, operable windows, doors, air intakes, or other openings into the building. Cast-iron-body floor drains will be located in each restroom and provided with nickel-bronze strainer grates. All floor drain trap seals will be protected with trap guards.

Storm Drain Piping

Storm piping shall be provided as required and will be schedule 40 solid wall PVC with solvent welded fittings and couplings. Hub drains with backwater valves will be provided in all mechanical rooms to collect condensate drainage from the air handling units and will be routed separately to the site drainage system. 1" thick flexible elastomeric or polyolefin insulation will be provided for storm drain piping above ground.

Condensate Drainage Piping

Aboveground: DWV copper pipe with cast brass or wrought copper solder joint drainage fittings

Underground: PVC pipe and socket-type plastic drainage fittings

Plumbing Fixtures

Water closets will be vitreous china, floor mounted, siphon jet, elongated rim, 1.28 gallons per flush. Water closets will be provided with low-consumption sensor operated flush valves and solid plastic contoured open front elongated seat with stainless steel check hinges. Toilet seat heights will vary based on ADA or standard usage. At least one ADA accessible water closet will be provided in each restroom. Design will be lead by architect to match period of historic significance.

Urinals will be vitreous china, wall mounted, siphon jet, 0.125 gallons per flush. Urinals will be provided with low consumption sensor operated flush valves and shall be installed with an epoxy-coated, cast iron, wall-mounted carrier. Urinal rim heights will vary based on ADA or standard usage. At least one ADA accessible urinal will be provided in each male restroom where urinals are provided.

Lavatories will be accessible, wall hung, vitreous china type. Faucets will be low consumption sensor operated type. Open grid strainers with 17-gauge offset tailpiece and p-trap will be provided. Water supplies will be provided with supply valve stops.

Protective insulation will be provided for traps, tailpieces, and water supplies. Tempered water will be provided to all lavatories.

Plumbing Equipment

Tank type electric water heaters equipped with thermostatic mixing valves, circulator pump, balancing valve, expansion tank, thermometers, pressure gauges, unions, and shutoff valves will be provided to supply hot water to the restrooms, breakroom, and administration. The water will be stored at 140°F to prevent bacterial growth and a thermostatic mixing valve will be used to reduce the temperature to 110°F to supply all the plumbing fixtures and equipment.



Tank water heater for apartments.



Instantaneous water heater.

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Historic District Survey

**Summary of the downtown historic district survey
prepared by GAI Consultants**

Survey Methodology

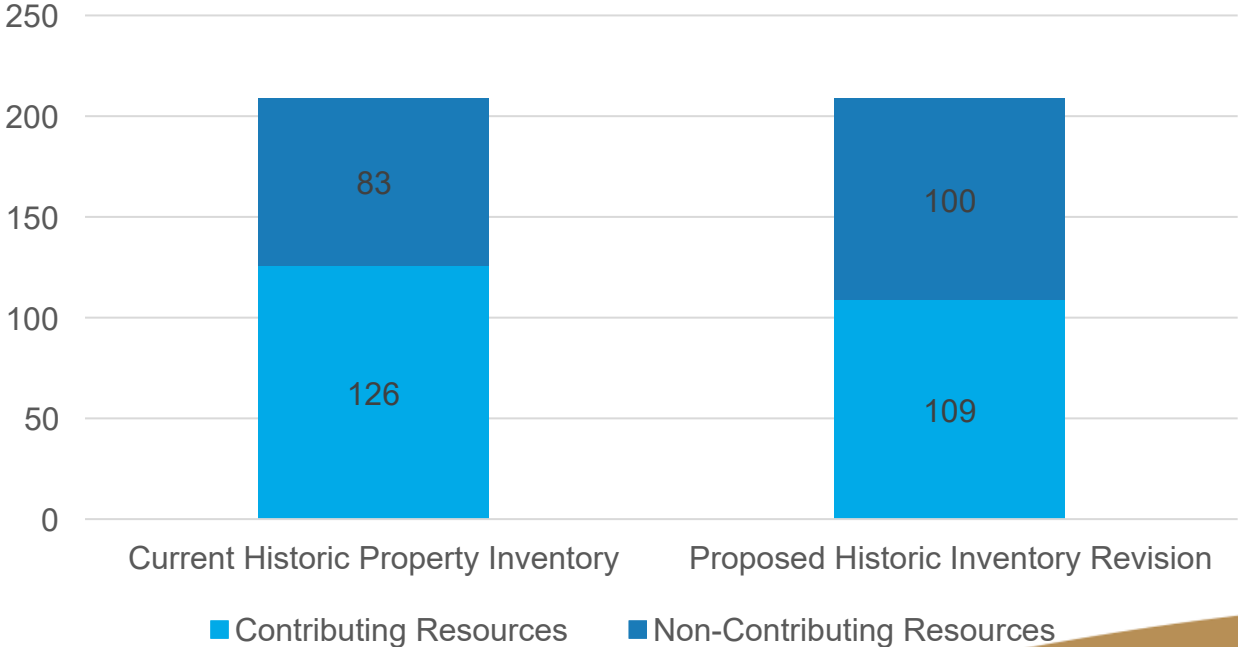


GAI surveyed the existing Historic District boundary as well as the surrounding neighborhood with North Ave, South Ave, 1st St, and 20th St acting as the boundaries for the survey. (See Figure 1)

The survey was conducted by walking the District and observing conditions of properties built as recently as 1980 within the boundary to determine the quality of retained historically significant architectural features from the Period of Significance.

Changes in Status

Current Contributing and Non-Contributing Structures within the Historic District



Survey Findings



- The properties proposed to have their Contributing status changed are highlighted in yellow in Figure 3.
- 23 properties are proposed to change from Contributing to Non-Contributing.
- 6 properties are proposed to change from Non-Contributing to Contributing.
- 10 directly adjacent properties that could be categorized as Contributing are proposed to be added to the District.

GAI Recommendations



- Expand the period of significance from 1910 to 1975 (currently from 1910 to 1950).
- Perform an additional, intensive-level survey of the blocks west of 7th Street to evaluate expanding district to the west or creating a new Historic Preservation District to include the blocks indicated in Figure 4.
- Revise the status of 23 structures within the District from Contributing to Non-Contributing and 6 from Non-Contributing to Contributing.

GAI Recommendations

Change to Non-Contributing			Change to Contributing	
38614 2nd Ave	5133 9th St	5304 10th St	38540 4th Ave	5032 8th St
38540 4th Ave	5243 9th St	5525 10th St	38649 4th Ave	5117 8th St
38552 5th Ave	5244 9th St	5536 10th St	38515 5th Ave	5220 10th St
5047 8th St	5419 9th St	5460 11th St	38620 5th Ave	5504 10th St
5232 8th St	5443 9th St	5518 11th St	38635 5th Ave	5246 11th St
5429 8th St	5451 9th St	5519 11th St	38640 5th Ave	5413 11th St
5517 8th St	5509 9th St	5548 11th St	38710 5th Ave	5512 11th St
5529 8th St	5527 9th St		5110 7th St	5546 12th St
Staff differs on recommendation			Religious Institute	

Next Steps

- Adding or removing structures within the Historic District will require notification to the owners' of the properties and public hearings before the Historic Preservation Board. The board needs to nominate the structures identified within the GAI Survey for modification of their contributing status within the Historic District.
- Following approval of the city as a Certified Local Government, utilize available Small Match Grants to partially fund and perform an additional, intensive-level survey of the blocks west of 7th Street to evaluate expanding district to the west or creating a new Historic Preservation District to include the blocks indicated in Figure 4.



Zephyrhills Downtown Historic District Management Summary and Expansion Recommendations

City of Zephyrhills, Pasco County, Florida

GAI Project Number: 240386.00

September 2025



Prepared by: GAI Consultants, Inc.
Pittsburgh Office
385 East Waterfront Drive
Homestead, PA 15120-5005

Prepared for: City of Zephyrhills
5335 Eight Street
Zephyrhills, FL 33542

Zephyrhills Downtown Historic District Management Summary and Expansion Recommendations

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Prepared for:
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5335 Eighth Street
Zephyrhills, FL 35542

Prepared by:
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Principal Investigator:

Christine Q. Dawson, MFA
Architectural Historian Manager

Abstract

GAI Consultants, Inc. (GAI) conducted a reconnaissance-level survey of the National Register of Historic Places (NRHP) listed Zephyrhills Downtown Historic District (Downtown District) (NRHP 01001058) and adjacent areas to develop a management summary focused on changes to the Downtown District since the 2001 listing of the district in the NRHP and to make recommendations on potential revisions to the existing district boundary. The Downtown District is roughly bounded by 9th Avenue on the north, 11th Street on the east, South Avenue on the south, and 7th Street on the west. The analysis included an assessment of the contributing and noncontributing status of resources within and adjacent to the existing district based on physical changes to the resources since 2001. The resurvey of the Downtown District revealed a low level of physical change within its current boundary, mainly due to the establishment and enforcement of design review guidelines. However, based on observed levels of historic integrity, GAI recommends revision of the contributing or noncontributing status of 30 properties within the district (23 from contributing to noncontributing, six from noncontributing to contributing). GAI further recommends the physical expansion of the district boundary to include 10 resources adjacent to the existing district boundary and an extension of the district's period of significance from 1910 to 1975.

In addition to the revisions of contributing status and expansion of the Downtown District described above, GAI recommends that the City of Zephyrhills (City) apply its current *Design Review Guidelines for Historic Structures (Guidelines)* to all properties within the Downtown District. Making the *Guidelines* applicable to all properties regardless of contributing status will avoid changes leading to additional loss of integrity that may prevent structures that have not yet reached 50 years of age from future consideration as contributing resources. Incentives such as small grants would encourage property owners to restore their properties' historic integrity, such that their noncontributing status could be revised to contributing.

GAI assessed the NRHP eligibility of the area west of 7th Street and east of 1st Street and from South Avenue to North Avenue through a reconnaissance-level survey and analysis. Though generally developed slightly later than properties east of 7th Street, the materials, design, and scale of resources within this survey area are compatible with the contributing resources in the Downtown District; therefore, these identified properties may be considered NRHP-eligible under Criteria A and C. Of the 61 blocks surveyed in the area, 24 retain moderate to high levels of historic integrity, and many are contiguous, suggesting a reasonable boundary for a new or expanded NRHP district.

GAI recommends conducting an intensive-level survey of the blocks west of 7th Street and included in the 1910 Zephyrhills Colony Company plat to gather additional information and inform the process for expanding the existing Downtown District or nominating a new district. Regardless of whether the City pursues NRHP designation for this area, GAI recommends the identified blocks retaining the highest levels of historic integrity be designated as a local historic district to insulate these properties from historically insensitive changes by application of the *Guidelines*.

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Appendix A—1910 Zephyrhills Colony Company Plat

Appendix B—Zephyrhills Downtown Historic District Map

Appendix C—Selected Zephyrhills Downtown Historic District Photographs

Appendix D—Selected Potential West Side District Expansion Area Photographs

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1.0 Project Overview

The City of Zephyrhills (City), Florida, engaged GAI Consultants, Inc. (GAI) to conduct a reconnaissance survey of the Zephyrhills Downtown Historic District (Downtown District), develop a management summary focused on changes to the Downtown District since the 2001 National Register of Historic Places (NRHP) listing, and make recommendations on potential revisions to the existing district boundary (Appendix B). GAI conducted a reconnaissance-level survey of the Downtown District and the area bounded by North Avenue, 7th Street, South Avenue, and 1st Street to assess the contributing status of properties within the district and to gather data as a basis for recommendations regarding potential expansion of the district (Figure 1). Using data collected in the field study, GAI assessed the surveyed properties for potential NRHP eligibility, both for potential as contributing resources to the existing historic district and for potential as contributing resources in an expanded district. The analysis is reflected in this management summary and the recommendations presented herein.

1.1 Background Research

Before field work, GAI conducted research on the history of Zephyrhills, including review of Pasco County Property Appraiser records and GIS mapping, historic maps and aerial photography, local histories, historic photographs, and the NRHP nomination form for the Downtown Zephyrhills Historic District, to develop an understanding of the city's development and the historic significance of areas outside of but adjacent to the Downtown District. The original 1910 Zephyrhills Colony Company plat of the city particularly informed focus for potential district expansion areas (Appendix A).

In addition to historic aerial photographs and observations during the survey, the Pasco County Property Appraiser's records were used to identify properties constructed 45 or more years ago. Although the National Park Service (NPS) typically begins to consider the historic significance of a building, structure, site, object, or district when it reaches 50 years of age, GAI surveyed properties as young as 45 years old to offer greater planning flexibility to the City of Zephyrhills.

1.2 Historic Overview

Florida was admitted to the union as a state in 1845, but even after Reconstruction, the state remained sparsely populated with a frontier character (Federal Writers' Project of the Work Projects Administration for the State of Florida 1939; Gannon 1996). In 1881, Governor William D. Bloxham sold 4 million acres in south Florida to Hamilton Disston, scion and head of Philadelphia's Disston Saw Works, for 1 million dollars (Gannon 1996). This sale opened development possibilities and prompted railroad companies to make plans to construct new lines across the state (Gannon 1996). It was in this accelerating climate of change in Florida that Simon J. Temple, a railroad tycoon with investments throughout the state, purchased 280 acres where Zephyrhills now stands from the Florida Railway and Navigation Corporation (FR&N) in 1886 (Wise 2025).

Temple named the area Abbott, and the town was platted in 1888 (Miller 2019; Pasco County Clerk & Comptroller 1888). Florida's population began to grow quickly, rising from 269,500 in 1880 to 421,511 in 1900. The state's "salubrious climate and low cost of living made a move to the Florida attractive" (Gannon 1996:282). As further inducement for prospective newcomers, the state began offering exemptions from ad valorem taxes on property to widows with dependents and disabled veterans in 1885 (Gannon 1996; Florida League of Cities 2021). The Greer brothers of Georgia began buying land in Pasco County in 1900 to support their timber business (Anderson and Goodwin 2001). They relocated their operation near Abbott to capitalize on the existing FR&N railroad and sold thousands of acres of cut-over timberland for orange grove and homestead sites (Anderson and Goodwin 2001).

Union veterans of the Civil War began to view Florida as an ideal retirement location in the early 1900s (Mormino 2017). Captain Howard B. Jeffries, acting as agent of the Zephyrhills Colony Company, purchased 35,000 acres, including the town of Abbott, in 1909 with the intent of creating a settlement

for retired Union veterans. The following year, the town's name was changed to Zephyrhills, and a new plat was recorded (Miller 2019; Pasco County Clerk & Comptroller 1910).

Zephyrhills's Grand Army of the Republic (GAR) Hall was constructed on 8th Street in 1910, and the town was incorporated the next year (Anderson and Goodwin 2001). By 1916, the town was popular enough to support a hotel, and the Zephyrhills Hotel Company constructed a two-story hotel with 25 rooms. The building stood until its demolition in 1971 (Miller 2019).

Following World War I, real estate speculators flocked to Florida, ushering in a period known as the Florida Land Boom, which lasted until spring 1926, when banks started to fail (Federal Writers' Project of the Work Projects Administration for the State of Florida 1939). However, the burgeoning town of Zephyrhills survived the bust and continued to develop, with scattered dwellings constructed mostly on the east side of the railroad tracks. The Great Depression brought Works Progress Administration projects like the construction of City Hall and the Woman's Club buildings. The Zephyrhills airport became the Zephyrhills Army Airfield in 1939 and was used by the Army Air Corps during World War II (Anderson and Goodwin 2001).

Zephyrhills's growth continued after World War II as many servicemembers who had been stationed in Florida decided to make the state their permanent home (Anderson and Goodwin 2001). In the early 1950s, residential development continued to be widely scattered north of 8th Avenue and south of 4th Avenue within the existing Downtown District, as seen in historic aerial photos from that period (Pasco County Property Appraiser 1951/1952). However, aerial photography from the late 1960s and early 1970s shows significantly more infill development on both sides of the FR&N/CSX railroad tracks (Pasco County Property Appraiser 1967, 1974).

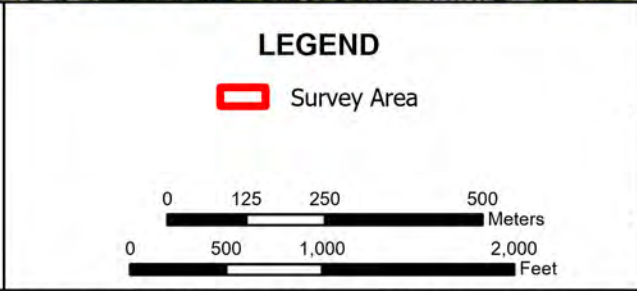
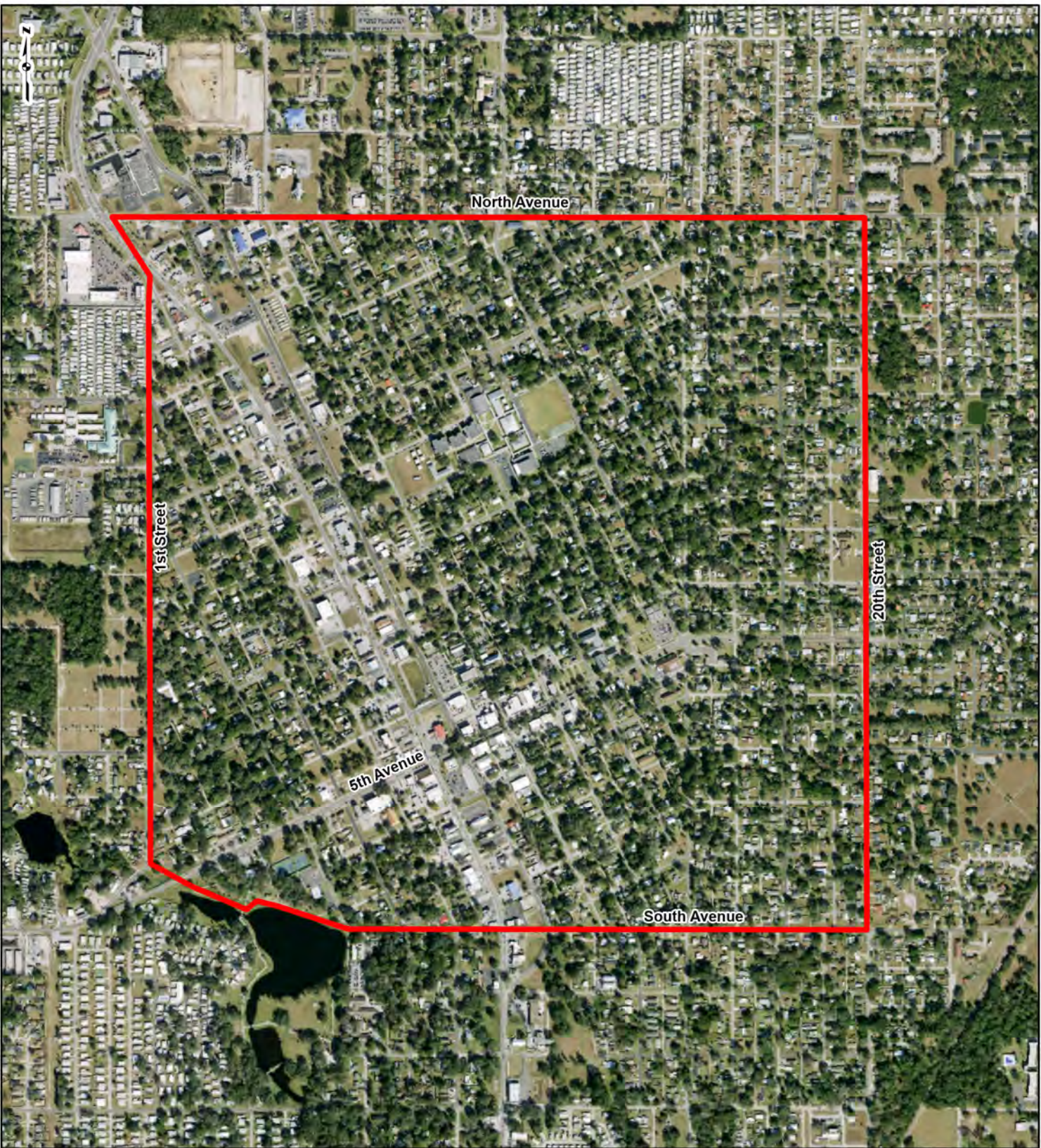


FIGURE 1
PROJECT LOCATION

DOWNTOWN ZEPHYRHILLS HISTORIC DISTRICT MANAGEMENT SUMMARY AND EXPANSION RECOMMENDATIONS
CITY OF ZEPHYRHILLS

DRAWN BY: AJW DATE: 7/1/2025
CHECKED: APPROVED: CQD

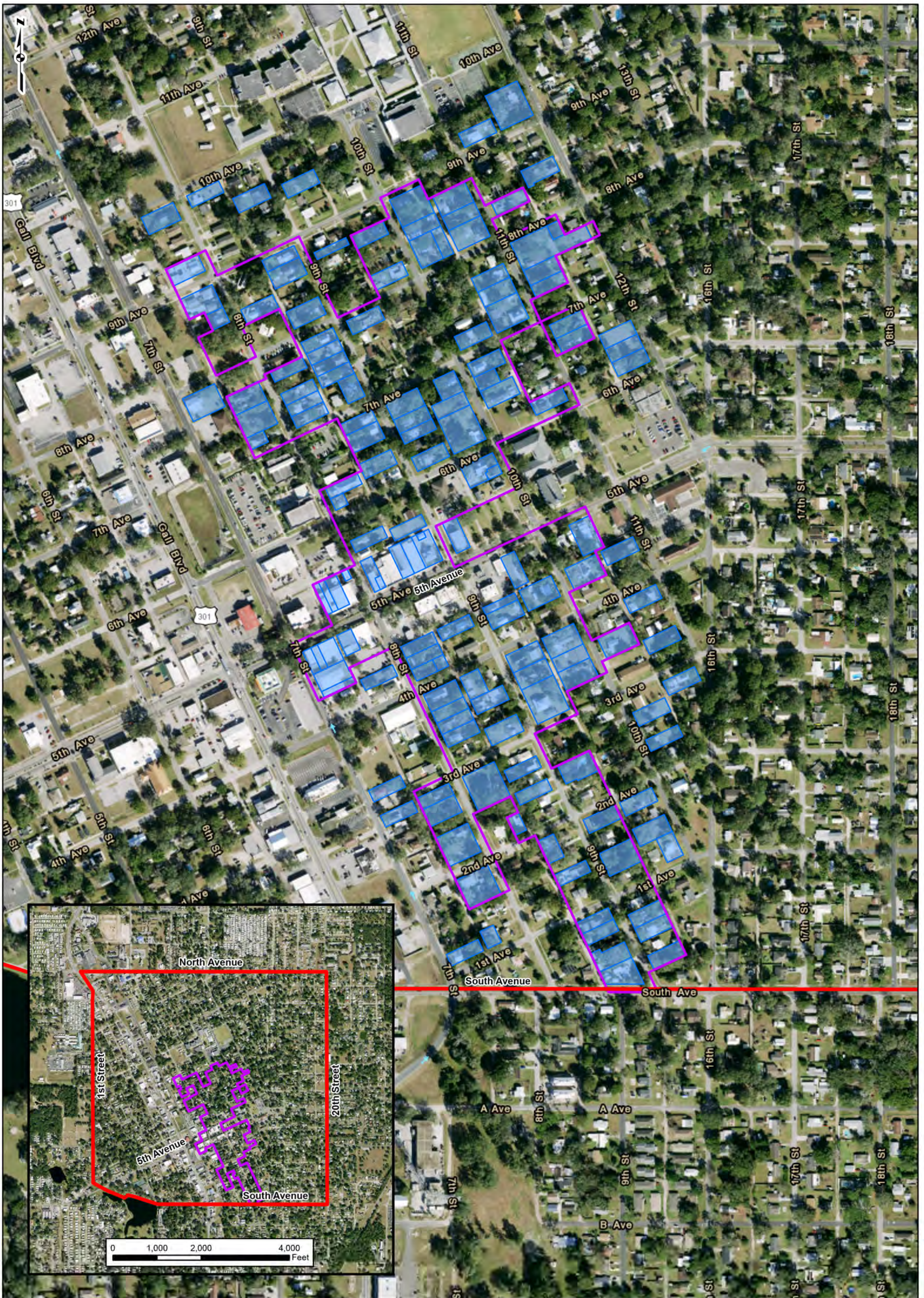
REFERENCE: ESRI WORLD IMAGERY, PROVIDED BY STATE OF FLORIDA, PASCO COUNTY, 2023, AND WORLD TRANSPORTATION, OBTAINED THROUGH ESRI ARCGIS ONLINE, © 2012 ESRI, DeLORME, NAVTEQ, TOMTOM, ACCESSED 07/2025.

1.3 Existing Historic District

The Zephyrhills Downtown Historic District was listed in the NRHP under Criteria A and C on September 27, 2001 (NPS 2024). The district's significance under Criterion A is based on the development that occurred after Harold B. Jeffries and the Zephyrhills Colony Company purchased 35,000 acres on which to establish a retirement colony for Union Army veterans of the Civil War. The Downtown District is significant under Criterion C because it is mainly composed of wood-frame and masonry vernacular residential buildings representative of the early settlement period of Zephyrhills. The dwellings reflect the modest financial circumstances of Civil War pensioners and represent a unique building group (Anderson and Goodwin 2001).

The Downtown District is roughly bounded by 9th Avenue on the north, 11th Street on the east, South Avenue on the south, and 7th Street on the west, and contains approximately 65 acres (Figure 2). The numbered streets of the district are laid out in a southeast-to-northwest orientation, and the numbered avenues cross at 90-degree angles in a southwest-to-northeast orientation. Centered on 5th Avenue, a primarily commercial thoroughfare, the district spreads north and south to include solidly residential streets (Appendix B). Most of the historic commercial buildings are of masonry construction and vernacular in style. Residential structures are mostly wood-framed cottages or bungalows. Upon listing, the district contained 126 contributing resources and 83 noncontributing resources, all of which are buildings.

The Downtown District's period of significance is 1910 to 1950. Most of the district is composed of compact, one-story frame dwellings clad in wood lap siding, asbestos tiles, or brick veneer. A few one-and-a-half and two-story frame residences are scattered throughout the district, though they are more prevalent south of Fifth Avenue. Commercial structures in the district are mostly along Fifth Avenue and Seventh Street. These one- and two-story buildings are primarily of masonry construction, though a few frame structures also are extant. Although many resources within the district display characteristics of popular national and regional architectural styles such as Craftsman and Colonial Revival, few are considered high-style. The district's significant collection of vernacular resources reflects its history as a retirement respite for Civil War veterans and their descendants.



REFERENCE: ESRI WORLD IMAGERY, PROVIDED BY STATE OF FLORIDA, PASCO COUNTY, 2023, AND WORLD TRANSPORTATION, OBTAINED THROUGH ESRI ARCGIS ONLINE, © 2012 ESRI, DeLORME, NAVTEQ, TOMTOM, ACCESSED 07/2025.

LEGEND

- ▭ Survey Area
- ▭ Zephyrhills Historic District
- ▭ Historic District Contributing Property

0 50 100 200 Meters

0 175 350 700 Feet

FIGURE 2
DOWNTOWN ZEPHYRHILLS HISTORIC DISTRICT

DOWNTOWN ZEPHYRHILLS HISTORIC DISTRICT MANAGEMENT SUMMARY AND EXPANSION RECOMMENDATIONS
 CITY OF ZEPHYRHILLS

DRAWN BY: AJW DATE: 7/1/2025
 CHECKED: APPROVED: CQD

2.0 Resurvey of Zephyrhills Downtown Historic District

2.1 Survey Methodology

GAI conducted a reconnaissance-level survey of the Downtown District by walking the district and observing all properties within it from the public right-of-way (ROW). For the purpose of listing properties in the NRHP, the NPS uses 50 years old as a general estimate of the time needed to develop historic perspective and evaluate significance, and the 2001 nomination of the Downtown District adhered to this guideline by ending the period of significance in 1950. The City provided to GAI a map of the Downtown District that also noted properties close to the district boundary that were considered potentially contributing in 2001; these properties are illustrated in Figure 2 and Appendix B. GAI surveyed these additional properties and other properties 45 years and older at the district periphery to assess their current potential for addition to the district. To allow flexibility in planning and provide stakeholders with the opportunity to consider potential changes to the Downtown District, GAI surveyed resources 45 years and older within the district. Therefore, some of the surveyed properties will become 50 years old within the next five years.

Secretary of the Interior—qualified architectural historian Christine Dawson directed a field team that noted existing conditions of properties within the survey boundaries using an Apple iPad Air. Observations included retention of features associated with the district’s period of significance, alterations since the 2001 NRHP listing, and demolition of previously surveyed properties. The survey included properties constructed between 1952 and 1980, and field observations included construction method, stylistic detailing, and overall condition. Selected properties were digitally photographed.

2.2 Survey Results and Analysis

2.2.1 Contributing and Noncontributing

The 2001 NRHP nomination of the Downtown District included an inventory of properties within the district, identifying them as contributing or noncontributing. Of the 309 properties inventoried at that time, 126 were considered contributing, and 83 were considered noncontributing. The nomination noted that a large number of buildings in the district were constructed during the earliest period of development, c. 1910–1920. Based on the rationale described in the nomination, resources constructed fewer than 50 years before the time of the nomination, i.e., constructed in 1952 or later, were considered noncontributing. Resources constructed during the period of significance but that had experienced insensitive alterations, such as the replacement of original exterior cladding with inappropriate materials, were considered noncontributing. Other changes that resulted in noncontributing status included the enclosure of porches, the replacement of windows with non-historic types, the removal of original architectural details, and the construction of additions.

2.2.2 Integrity

The Secretary of the Interior defines integrity as the ability of a property to convey its historic significance (NPS 1997). As described in *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, the seven aspects are location, design, setting, materials, workmanship, feeling, and association (NPS 1997). Following the reconnaissance resurvey of the Downtown District, GAI evaluated resources 45 years and older against the four aspects most closely related to the resources’ physical state: design, materials, workmanship, and feeling. Changes related to physical integrity that occurred 50 or more years ago may be considered historic in their own right and illustrative of change over time, rather than detracting from the historic integrity of a resource. Properties that maintained moderate to high levels of physical integrity were considered contributing, and properties with low levels of physical integrity were considered noncontributing.

Design is the combination of elements that create the form, plan, and style of a structure and reflects the decisions made by the architect, designer, and/or builder at the time of construction. Factors that can affect integrity of design include changes in door and window arrangement, roof form, porch layout, and alterations or additions to the building footprint (NPS 1997). GAI considered changes such as replacement windows not matching the original opening size or shape and additions that significantly increased the square footage of a historic building (100% or more) detrimental to design integrity.

Materials are the physical elements that were combined during a particular period and in a particular pattern or configuration. Materials reveal the availability of natural resources and technologies, as well as the preferences of those responsible for the construction of resources (NPS 1997). The replacement of historic, not necessarily original, materials with non-historic materials or materials that do not reflect original design intent detracts from a resource's integrity.

Workmanship is the physical evidence of artisans' labor and skill in the construction of a resource and is closely tied to materials (NPS 1997). Methods and tools of construction are expressed in materials, and the loss of materials integrity almost always results in a loss of integrity of workmanship.

Feeling is a property's expression of the aesthetic or historic sense of a particular period, which results from the combination of observable physical features (NPS 1997). Similar to integrity of workmanship, integrity of feeling relies heavily upon the presence of historic materials and design. Although this aspect of integrity may seem subjective, it is based on the presence of historic design and materials and is critical to a property's capacity to express its historic significance.

2.2.3 Results

Although changes to discrete elements of contributing resources, such as changes to roofing materials, have occurred since the district was established in 2001, overall changes to the Downtown District have been minimal, as illustrated by the low number of resources whose contributing status is recommended for revision. Of the 126 properties considered contributing at the time of the 2001 NRHP listing of the Downtown District, 23 have experienced changes since that date, which suggest they no longer contribute to the historic character of the district (Figure 3; Table 1). The changes range from the application of vinyl siding and the enclosure of front porches to demolition and new construction. They are commensurate with the types of incompatible alterations described in the 2001 Downtown District nomination's discussion of noncontributing properties. Examples of such changes are illustrated in Appendix C.

The inventory included in the 2001 nomination listed 83 noncontributing properties. Upon survey by GAI, six of those properties are considered contributing to the district (Figure 3; Table 1). In addition to the passage of 24 years since the listing of the Downtown District, which brought these properties within the potential expanded period of significance, these properties maintain moderate to high levels of historic integrity. Furthermore, 10 properties adjacent to the district boundary have retained moderate to high levels of historic integrity and would be considered contributing elements if added to the district (Figure 3; Table 1). These potential additions to the Downtown District are listed in Table 1.



REFERENCE: ESRI WORLD IMAGERY PROVIDED BY STATE OF FLORIDA, PASCO COUNTY, 2023, AND WORLD TRANSPORTATION, OBTAINED THROUGH ESRI ARCGIS ONLINE, © 2012 ESRI, DeLORME, NAVTEQ, TOMTOM, ACCESSED 07/2025.

LEGEND

- Survey Area
- Zephyrhills Historic District
- Historic District Contributing Property
- Recommended (Non-)Contributing Status Change

0 25 50 100 Meters
0 125 250 500 Feet

FIGURE 3
DOWNTOWN ZEPHYRHILLS
RECONNAISSANCE RESURVEY RESULTS

DOWNTOWN ZEPHYRHILLS HISTORIC DISTRICT MANAGEMENT SUMMARY AND EXPANSION RECOMMENDATIONS
 CITY OF ZEPHYRHILLS

DRAWN BY: AJW DATE: 7/1/2025
 CHECKED: APPROVED: CQD

Table 1. Recommended Revised Status of Properties in and Adjacent to Zephyrhills Downtown Historic District.

Property Address	Recommended Status	Condition Notes
38614 2nd Avenue	NC*	vinyl siding & windows; replacement front door
38540 4th Avenue	NC	vinyl siding; large side additions
38543 4th Avenue	C**	
38649 4th Avenue	C	adjacent to district; c. 1952
38515 5th Avenue	C	
south side of 5th Avenue between nos. 38552 & 38604 (possibly former no. 38600)	NC	vacant lot
38620 5th Avenue	C	
38635 5th Avenue	C	
38640 5th Avenue	C	adjacent to district; c. 1970
38710 5th Avenue	C	adjacent to district; c. 1961
5110 7th Street	C	adjacent to district; c. 1967
5032 8th Street	C	adjacent to district; c. 1940
5047 8th Street	NC	replacement windows not in keeping with historic style of house; non-historic carport
5117 8th Street	C	
5232 8th Street	NC	obtrusive front additions; replacement windows
5429 8th Street	NC	vinyl siding; large rear addition (c. 2010); replacement front door and porch posts
5517 8th Street	NC	rear porch enclosed c. 2015
5529 8th Street	NC	vinyl siding; replacement windows
5133 9th Street	NC	synthetic siding; replacement windows; incompatible front door
5243 9th Street	NC	enclosed front porch; vinyl siding c. 2010
5244 9th Street	NC	enclosed front porch c. 2020
5419 9th Street	NC	vinyl siding; incompatible replacement windows; enclosed front porch; incompatible front steps

Property Address	Recommended Status	Condition Notes
5443 9th Street	NC	vinyl siding; infilled front porch; replacement windows
5451 9th Street	NC	vinyl siding; front porch appears infilled fewer than 50 years ago
5509 9th Street	NC	front porch enclosed fewer than 50 years ago; replacement windows do not fit original openings
5527 9th Street	NC	vinyl siding; replacement windows
5220 10th Street	C	adjacent to district; c. 1964
5304 10th Street	NC	enclosed front porch with enclosed windows c. 2024
5504 10th Street	C	
5525 10th Street	NC	enclosed carport; vinyl siding; replacement windows
5536 10th Street	NC	vinyl siding; replacement windows; enclosed porch
5246 11th Street	C	adjacent to district; c. 1953
5413 11th Street	C	adjacent to district; c. 1947
5460 11th Street	NC	new construction
5512 & 5514 11th Street	C	adjacent to district; c. 1951
5518 11th Street	NC	enclosed front porch with anachronistic fish scale trim
5519 11th Street	NC	vinyl siding, replacement windows
5548 11th Street	NC	vinyl siding; replacement windows and front door; enclosed front porch
5546 12th Street (PA00763)	C	adjacent to district; c. 1951

*NC Noncontributing
 **C Contributing

3.0 Reconnaissance Survey of Potential Expansion Areas

3.1 Survey Methodology

GAI conducted a reconnaissance-level survey of the area adjacent to the west of the Downtown District and roughly bounded by North Avenue, 7th Street, South Avenue, and 1st Street, an area of 61 blocks (Figure 4). Lead architectural historian Christine Dawson directed the survey, which was conducted using a windshield-style driving method, and properties were observed from the ROW. GAI's team made general notes regarding historic integrity on the city block level rather than on the property-specific level. However, the Pasco County Property Appraiser's records were used to identify the number of properties constructed before 1981, properties developed in 1981 or later, and unimproved parcels on each block. As discussed in section 2.0 above, properties 45 years and older were surveyed to allow greater flexibility in the City of Zephyrhills's planning.

The area west of 7th Street was selected as a focus area based on conversations with City of Zephyrhills staff and the historic development of the area in relation to the area encompassed by the Downtown District. Although the 2001 Downtown District nomination noted that the original downtown area of Zephyrhills was bisected by the construction of Gall Boulevard (US 301), a review of historic topographic maps and aerial photographs suggests otherwise. Gall Boulevard, previously known as 7th Street West, and the current 7th Street, previously 7th Street East, were at minimum paper streets as early as the 1910 Zephyrhills plat (Appendix A). Gall Boulevard appears on topographic maps as early as 1947, and the current 7th Street stretches from South Avenue to 9th Avenue on the same map (Figure 5). The FR&N/CSX railroad tracks, which were at-grade parallel to and between Gall Boulevard/7th and 7th Street, predated the establishment of the towns of Abbott and Zephyrhills. No historic accounts of Gall Boulevard presenting an impediment to connectivity between the east and west sides of the city were located during the research phase of the project. Therefore, the FR&N/CSX railroad tracks appear to have been more of an impediment than Gall Boulevard to east-west connectivity.

The removal of the railroad tracks in the early 1970s created the opportunity for infill development in the former railroad ROW, allowing more fluid vehicle and pedestrian traffic movement between the east and west sides of the former railroad ROW (Pasco County Property Appraiser 1967, 1974).

Considering the closer association of these areas and the suggestion in the 2001 NRHP nomination that the concentration of historic buildings west of Gall Boulevard may be eligible for designation as an NRHP district, GAI focused its reconnaissance survey of potential district expansion on the area west of 7th Street. This area encompasses the approximate western third of the originally platted town (Appendix A). Areas to the north and east of the Downtown District, also part of the original plat, were considered for survey but ultimately not studied because they are separated from the Downtown District by significant visual barriers or have low levels of physical integrity.

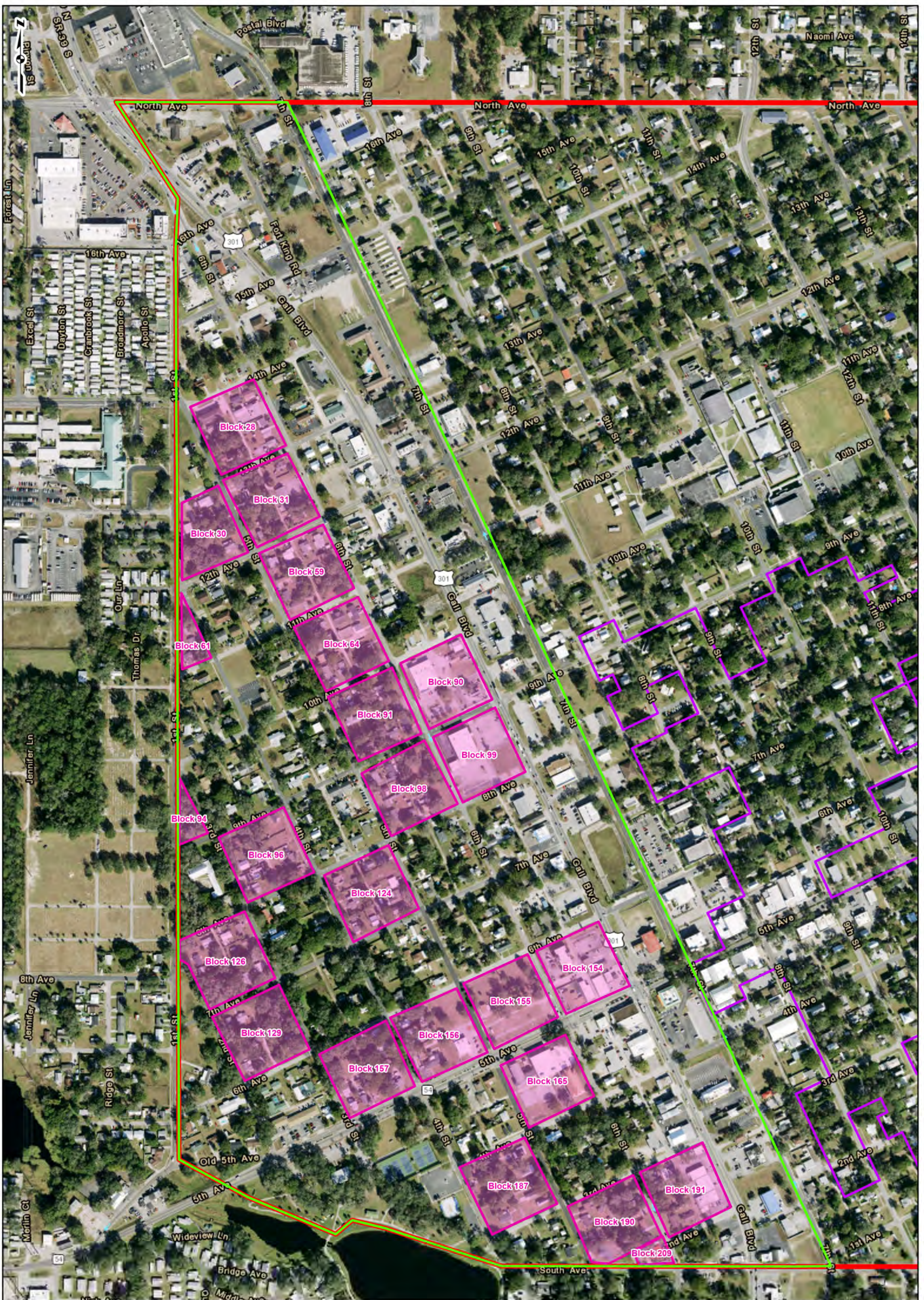
3.2 Survey Results

Using the same criteria described in section 2.0 above, GAI evaluated the survey area west of 7th Street for NRHP eligibility. Properties in the west side survey area tend to date to a later development period than those on the east side of the railroad tracks, with only a handful of structures visible on blocks south of 5th Avenue and northeast of the intersection of 5th Avenue and 6th Street in a 1941 aerial photograph (Pasco County Property Appraiser 1941) (Figure 6). A few additional structures are visible as far north as 10th Avenue in a 1951/1952 aerial photograph, but widespread development of the area was not apparent until the late 1950s, as shown by a 1957 aerial photograph (Pasco County Property Appraiser 1951/1952, 1957) (Figures 7, 8). Despite the later construction of these resources, their materials, design, and scale are compatible with the resources in the Downtown District (Appendix D, Photographs 5-6). Furthermore, many display mid-century design characteristics that illustrate the city's continued development (Appendix D, Photographs 1-4). Therefore, the area may be considered NRHP-eligible under the same criteria as the Downtown District, Criteria A and C.

Of the 61 surveyed blocks, three are city parklands (Blocks 162, 163, and 188). Although Block 162 contains a building constructed before 1981, it does not possess adequate historic integrity to qualify the block as potentially contributing to a district. Furthermore, the blocks do not appear to have been developed as parkland during the Downtown District's established period of significance (1910–1950), as they do not retain any elements from that period (Pasco County Property Appraiser 1941, 1951/1952).

GAI determined the percentage of parcels containing resources with moderate to high levels of historic integrity on each of the remaining 58 blocks. Blocks with 50% or more parcels with moderate to high integrity are recommended as potentially contributing to an NRHP district or an expansion of the Downtown District (Figure 4; Table 2). For the purpose of this analysis, undeveloped parcels are excluded and are not counted as contributing or noncontributing. The results of this analysis are presented in Table 2 below.

Of the 58 blocks, 24 exhibit moderate to high levels of historic integrity. As shown in Figure 4, most of these blocks are adjacent to others with moderate to high levels of integrity, thus creating contiguous areas that reasonably could serve as the basis of a new NRHP district or an expanded Downtown District.



REFERENCE: ESRI WORLD IMAGERY, PROVIDED BY STATE OF FLORIDA, PASCO COUNTY, 2023, AND WORLD TRANSPORTATION, OBTAINED THROUGH ESRI ARCGIS ONLINE, © 2012 ESRI, DeLORME, NAVTEQ, TOMTOM, ACCESSED 09/2025.

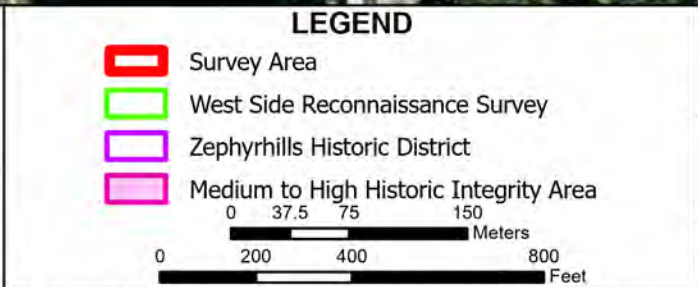


FIGURE 4
WEST SIDE RECONNAISSANCE SURVEY RESULTS

DOWNTOWN ZEPHYRHILLS HISTORIC DISTRICT MANAGEMENT SUMMARY AND EXPANSION RECOMMENDATIONS
 CITY OF ZEPHYRHILLS

DRAWN BY: AJW DATE: 9/2/2025
 CHECKED: TDB APPROVED: CQD

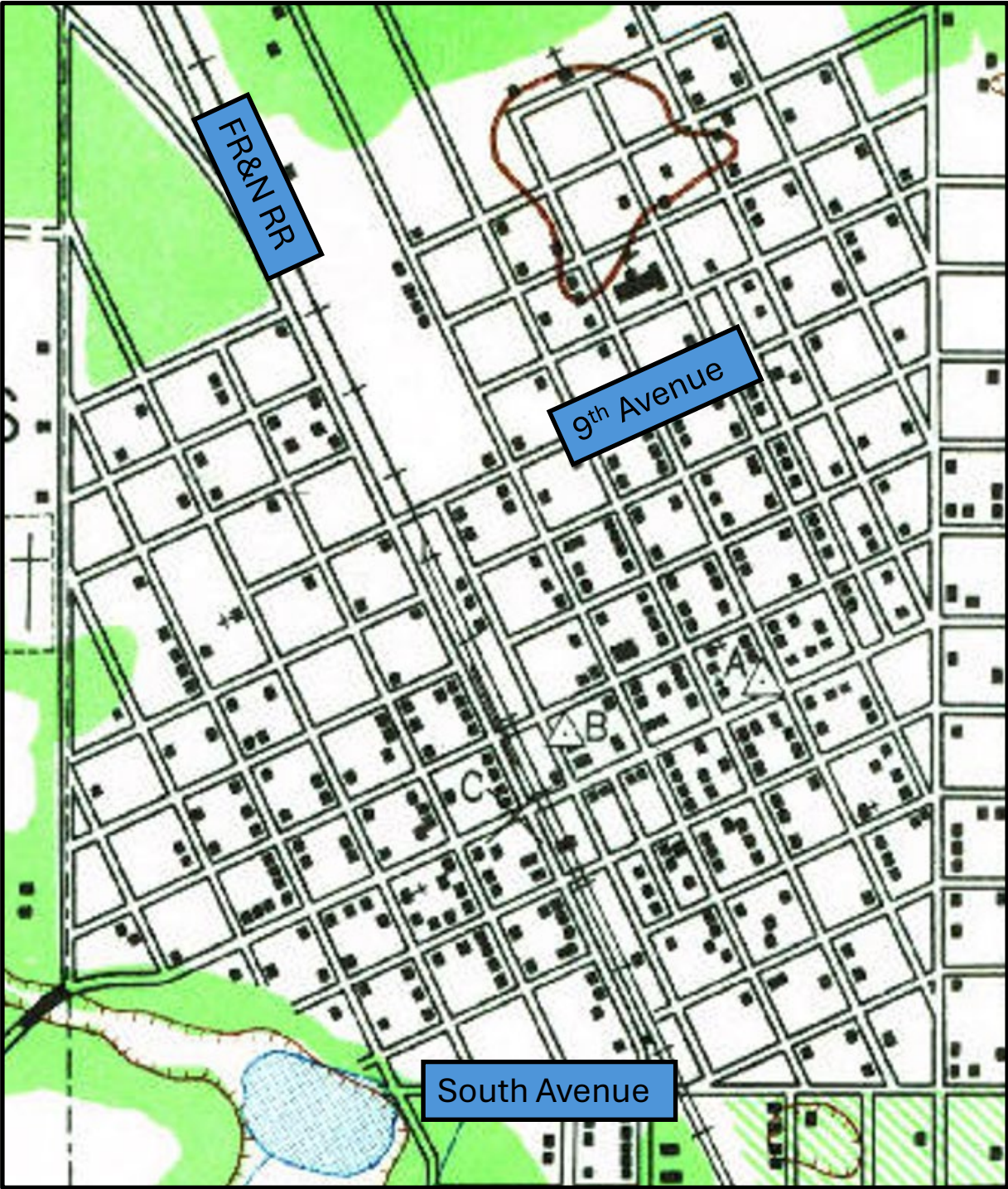


Figure 5. FR&N RR sited between 7th Street East and 7th Street West, Zephyrhills (Source: USGS Zephyrhills, Fla. 1:24,000 quad map, 1947)



Figure 6. West side survey area, 1941 (Source: Pasco County Property Appraiser).



Figure 7. West side survey area, 1951/1952 (Source: Pasco County Property Appraiser).



Figure 8. West side survey area, 1957 (Source: Pasco County Property Appraiser).

Table 2. Historic Integrity of Blocks in West Side Survey Area of Zephyrhills Colony Company 1910 Plat.

Block Number	Number of Parcels in Block	Number and Percentage of Moderate to High Integrity Parcels	Number and Percentage of Low Integrity Parcels	Number and Percentage of Unimproved/ < 45 Years Old/ Not Visible Parcels
1	1	0	0	1 100%
2	4	1 25%	1 25%	2 50%
9	7	0	5 71%	2 29%
10	1	0	1 100%	0
11	6	1 17%	4 66%	1 17%
12	5	2 40%	2 40%	1 20%
27	7	2 28%	3 44%	2 28%
28	10	5 50%	5 50%	0
29	2	0	2 100%	0
30	6	3 50%	3 50%	0
31	10	4 40%	3 30%	3 30%
32	6	1 17%	2 33%	3 50%
58	7	3 42%	2 29%	2 29%
59	9	5 56%	2 22%	2 22%
60	10	2 20%	1 10%	7 70%
61	3	3 100%	0	0
62	8	3 38%	3 38%	2 24%
63	5	2 40%	1 20%	2 40%

Block Number	Number of Parcels in Block	Number and Percentage of Moderate to High Integrity Parcels	Number and Percentage of Low Integrity Parcels	Number and Percentage of Unimproved/ < 45 Years Old/ Not Visible Parcels
64	11	5 45%	4 36%	2 19%
65	8	2 25%	2 25%	4 50%
90	8	3 38%	1 12%	4 50%
91	7	4 57%	3 43%	0
92	10	2 20%	6 60%	2 20%
93	8	3 38%	4 50%	1 12%
94	1	1 100%	0	0
95	1	0	1 100%	0
96	8	4 50%	3 38%	1 12%
97	8	1 12%	7 88%	0
98	9	5 56%	2 22%	2 22%
99	3	1 33%	0	2 66%
122	7	2 29%	3 42%	2 29%
123	10	2 20%	6 60%	2 20%
124	10	4 40%	4 40%	2 20%
125	9	2 22%	6 66%	1 11%
126	12	7 58%	4 34%	1 8%
128	2	0	1 50%	1 50%

Block Number	Number of Parcels in Block	Number and Percentage of Moderate to High Integrity Parcels	Number and Percentage of Low Integrity Parcels	Number and Percentage of Unimproved/ < 45 Years Old/ Not Visible Parcels
129	9	6 67%	2 22%	1 11%
130	8	1 13%	4 50%	3 37%
131	9	3 33%	4 44%	2 22%
132	10	1 10%	5 50%	4 40%
133	7	1 15%	2 29%	4 56%
154	7	3 42%	2 29%	2 29%
155	6	1 17%	0	5 83%
156	7	3 42%	2 29%	2 29%
157	10	7 70%	1 10%	2 20%
158	8	3 38%	2 25%	3 38%
159	10	1 10%	6 (60)	3 (30)
162	1 (Park)	0	1 100%	0
163	4 (Park)	0	0	4 100%
164	10	3 30%	3 30%	4 40%
165	3	1 33%	1 33%	1 33%
166	12	2 17%	7 58%	3 25%
185	8	2 25%	4 62%	1 12%
186	12	1 8%	8 66%	3 25%

Block Number	Number of Parcels in Block	Number and Percentage of Moderate to High Integrity Parcels	Number and Percentage of Low Integrity Parcels	Number and Percentage of Unimproved/ < 45 Years Old/ Not Visible Parcels
187	10	6 60%	3 30%	1 10%
188	2 (park)	0	0	2 100%
189	4	1 25%	3 75%	0
190	9	3 33%	4 44%	2 22%
191	9	4 44%	3 33%	2 22%
208	5	1 20%	4 80%	0
209	2	1 50%	1 50%	0

4.0 Conclusions and Recommendations

The Zephyrhills Downtown Historic District has experienced a remarkably low level of historically insensitive change since its establishment in 2001, especially considering the increasing development pressures across Florida. Local designation of the district and the implementation of design guidelines to regulate changes to existing structures and the appearance of new construction are responsible for a lower rate of insensitive change than observed elsewhere in the city, including the reconnaissance survey area west of 7th Street.

4.1 Zephyrhills Downtown Historic District

The NRHP nomination of the Downtown District identified 126 contributing properties within the district. GAI's updated survey of the district determined that 103 of those properties maintain adequate historic integrity to continue being considered contributing to the district. Due to the age of the original survey, some properties previously determined noncontributing were determined as such due to a construction date after 1950, the last year of the Downtown District's period of significance identified in the 2001 NRHP nomination. GAI identified six properties previously considered noncontributing whose status should be revised to contributing (Figure 3, Table 2).

An additional 10 properties adjacent to the existing district boundary were identified as potentially contributing resources based on their ages and moderate to high levels of historic integrity. Only one of these properties was previously surveyed. Eight of these resources did not meet the minimum age threshold at the time of the previous survey, but it is unclear why the other two were not surveyed (Table 1). GAI surveyed these properties because of their proximity to the existing Downtown District boundary and recommends conducting intensive-level surveys to more fully establish their NRHP eligibility. If these newly identified properties are incorporated into the district, the total number of contributing properties in the Downtown District would then be 119.

As noted above, some resources within the district and on its periphery were constructed after 1950. However, the district continued to develop in a generally sympathetic manner after that date, with residential and commercial construction of similar scale and character. Therefore, GAI recommends extending the district's period of significance to 1975 to include this later development and the resources identified during the resurvey as potentially contributing. An expansion of the period of significance would grant the opportunity to acknowledge Zephyrhills's continued historic development in the pattern established by her original colony settlers, elaborating on the area's significance under Criteria A and C.

GAI further recommends revising the existing Downtown District boundary, as some properties identified as contributing in 2001 have been identified by GAI as noncontributing. Many of these resources are located at the periphery of the district, making a reduction of the boundary in these areas reasonable (Figure 3; Table 1). In contrast, some properties previously identified as noncontributing but that have been newly identified as contributing are contiguous to the current Downtown District boundary (Figure 3; Table 1). GAI recommends expanding the district to include these properties.

The City's *Guidelines* apply only to new construction and resources identified as contributing in the 2001 NRHP listing of the Downtown District (City of Zephyrhills 2025). To prevent potential future losses of integrity that could disqualify structures fewer than 50 years old from being reclassified as contributing resources within the district, GAI recommends applying the *Guidelines* to all existing properties in the Downtown District. Additionally, the opportunity exists to create incentives, such as small grants, for property owners to restore the historic integrity of their properties, thereby allowing the reclassification of their noncontributing status to contributing.

4.2 Potential West Side District Expansion

Through a reconnaissance-level survey of the area west of 7th Street that was part of the 1910 Zephyrhills Colony Company plat, GAI identified 24 city blocks with moderate to high levels of historic

integrity and that illustrate Zephyrhills's development continuing in a similar fashion to the Downtown District (Figure 4). Each of these blocks is adjacent to at least one other block of similar integrity, indicating a plausible expansion of the existing Zephyrhills Downtown Historic District or a new district.

GAI recommends gathering additional information through an intensive-level survey of the blocks west of 7th Street, which were included in the 1910 Zephyrhills Colony Company plat (Figure 4). Such work would inform the nomination of an expansion of the Downtown District or a new district. Regardless of whether Zephyrhills chooses to pursue NRHP listing for this area of the city, GAI recommends designating the blocks with the highest levels of historic integrity as a local historic district to protect them from historically insensitive changes by application of the *Guidelines*.

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APPENDIX A

1910 Zephyrhills Colony Company Plat

Filed for record March 15-1910

W. J. Burmeister
Clerk

A MAP OF THE TOWN OF ZEPHYRHILLS.

SITUATED IN
SEC. 11-74 26 S. R. 1 E.
PASCO COUNTY, FLORIDA.

PROPERTY OF THE
ZEPHYRHILLS COLONY COMPANY.

SURVEYED AND DRAWN BY J. F. LACEY C.E.
Scale 300 ft. = 1 inch.

Be it hereby known that Zephyrhills Colony Company, a corporation
has reserved and reserves to itself, its successors and assigns, forever,
the right to enter, occupy and use any and all alleys, avenues, streets,
roads, walks and public spaces for railway, telegraph, main lines of
for gas, water, sewerage, or other public utility, whether located
above the surface, on the surface, beneath the surface, and
in the above or not.
Witness my hand and seal this 15th day of March, 1910.
J. F. Lacey, President
R. B. Joffe, Vice President
R. B. Joffe, Secretary

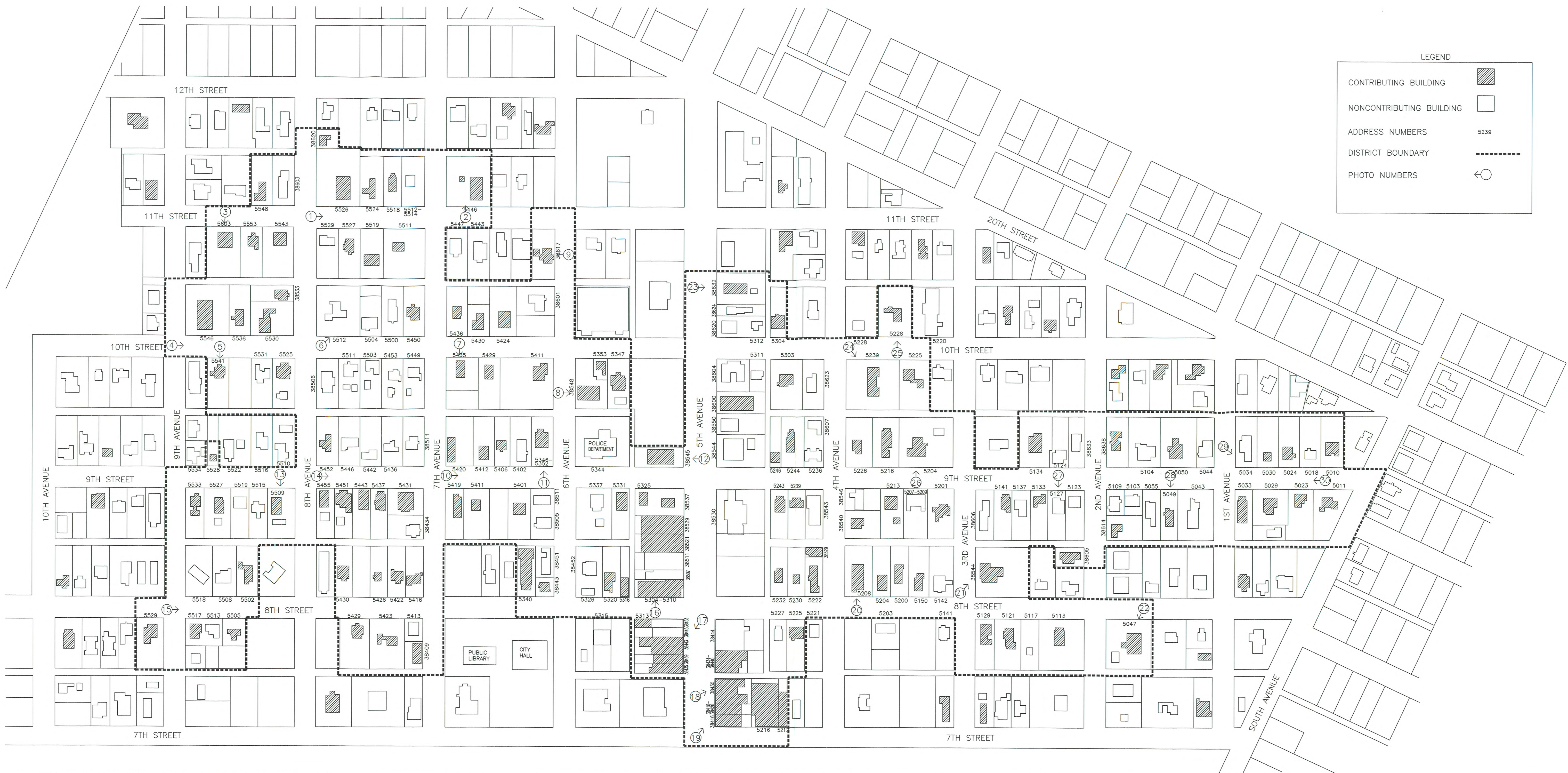
(Corporate Seal)

54



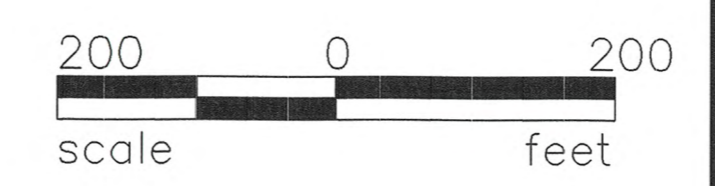
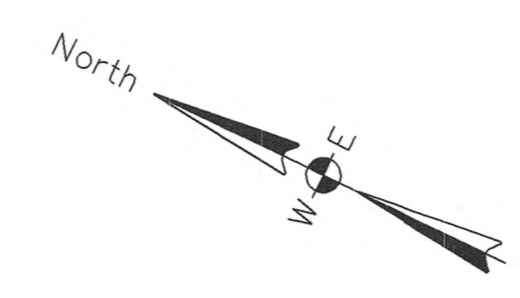
APPENDIX B

Zephyrhills Downtown Historic District Map



LEGEND	
CONTRIBUTING BUILDING	
NONCONTRIBUTING BUILDING	
ADDRESS NUMBERS	5239
DISTRICT BOUNDARY	
PHOTO NUMBERS	

DOWNTOWN ZEPHYRHILLS HISTORIC DISTRICT
 ZEPHYRHILLS (PASCO COUNTY), FLORIDA



MAP PREPARED BY THE PLANNING DEPARTMENT, CITY OF ZEPHYRHILLS, FLORIDA, JUNE 2000,
 AND REVISED BY THE FLORIDA BUREAU OF HISTORIC PRESERVATION OCTOBER, 2000.

APPENDIX C

Selected Zephyrhills Downtown Historic District Photographs



Photograph 1. 38540 4th Avenue; note vinyl siding and large side addition (recommended noncontributing).



Photograph 2. 38649 4th Avenue; recommended contributing (adjacent to Downtown District).



Photograph 3. 38515 5th Avenue; recommended contributing.



Photograph 4. South side 5th Avenue between 38552 and 38604; vacant lot (recommended noncontributing).



Photograph 5. 38620 5th Avenue; recommended contributing.



Photograph67. 38635 5th Avenue; recommended contributing (adjacent to Downtown District).



Photograph 7. 38640 5th Avenue; recommended contributing (adjacent to Downtown District).



Photograph 8. 38710 5th Avenue; recommended contributing (adjacent to 38640 5th Avenue).



Photograph 9. 5110 7th Street; recommended contributing (adjacent to the Downtown District).



Photograph 10. 5032 8th Street; recommended contributing (adjacent to the Downtown District).



Photograph 11. 5047 8th Street; note incompatible replacement windows and non-historic carport (recommended noncontributing).



Photograph 12. 5117 8th Street; recommended contributing.



Photograph 13. 5232 8th Street; note obtrusive front additions and replacement windows (recommended noncontributing).



Photograph 14. 5429 8th Street; note vinyl siding, replacement porch posts, and large rear addition (recommended noncontributing).



Photograph 15. 5517 8th Street; note non-historic stucco and rear porch enclosed ca. 2015 (recommended noncontributing).



Photograph 16. 5133 9th Street; note synthetic siding, replacement windows, and incompatible front door (recommended noncontributing).



Photograph 17. 5423 9th Street; note enclosed front porch and vinyl siding applied ca. 2015 (recommended noncontributing).



Photograph 18. 5244 9th Street; note enclosed front porch c. 2020 (recommended noncontributing).



Photograph 19. 5419 9th Street; note vinyl siding, incompatible replacement windows, enclosed front porch, and incompatible front steps (recommended noncontributing).



Photograph 20. 5443 9th Street; note vinyl siding, infilled front porch, and replacement windows (recommended noncontributing).



Photograph 21. 5451 9th Street; note vinyl siding and front porch appearing infilled fewer than 50 years ago (recommended noncontributing).



Photograph 22. 5509 9th Street; note front porch enclosed fewer than 50 years ago (new porch added after) and replacement windows not fitting original openings (recommended noncontributing).



Photograph 23. 5527 9th Street; note vinyl siding and replacement windows (recommended noncontributing).



Photograph 24. 5220 10th Street; recommended contributing.



Photograph 25. 5304 10th Street; note enclosed front porch and boarded windows (recommended noncontributing).



Photograph 26. 5404 10th Street; recommended contributing.



Photograph 27. 5525 10th Street; note enclosed carport, vinyl siding, and replacement windows (recommended noncontributing).



Photograph 28. 5536 10th Street; note vinyl siding, replacement windows, and enclosed porch (recommended noncontributing).



Photograph 29. 5426 11th Street; recommended contributing.



Photograph 30. 5413 11th Street; recommended contributing.



Photograph 31. 5460 11th Street; new construction (recommended noncontributing).



Photograph 32. 5512 11th Street; recommended contributing.



Photograph 33. 5514 11th Street; recommended contributing.



Photograph 34. 5518 11th Street; note enclosed front porch with anachronistic fish scale trim (recommended noncontributing).



Photograph 35. 5519 11th Street; note vinyl siding and replacement windows (recommended noncontributing).



Photograph 36. 5548 11th Street; note vinyl siding, replacement windows and front door, and enclosed porch (recommended noncontributing).



Photograph 37. 5546 12th Street; recommended contributing.

APPENDIX D

Selected Potential West Side District Expansion Area Photographs



Photograph 1. 38300 5th Avenue; mid-century institutional/religious structure.



Photograph 2. 5009 Gall Boulevard; mid-century commercial building.



Photograph 3. 5435 Gall Boulevard; late mid-century commercial building.



Photograph 4. 5665 Gall Boulevard; mid-century commercial building.



Photograph 5. 5051 (left) and 5101 (right) 4th Street.



Photograph 6. 5433 (left) and 5437 (right) 5th Street.



Zephyrhills
jump right in

Historic Preservation Incentives

**Updates to the Historic Façade Grant program and
potential alternative incentives**

Current Incentives

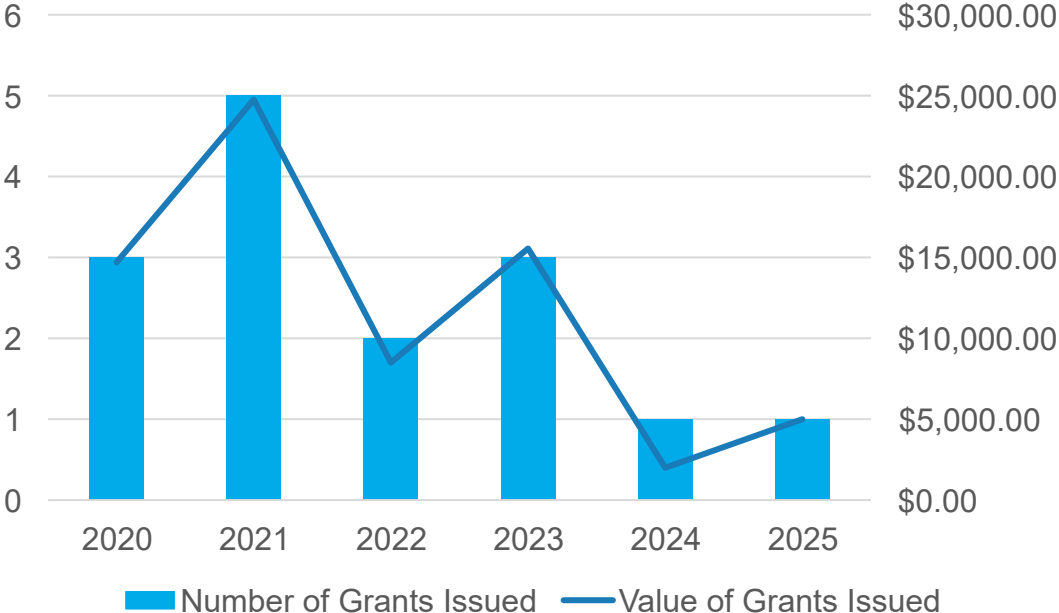
The adopted ordinances allow for the Historic Preservation Board to utilize the following incentives to encourage preservation:

- Financial incentives – currently a \$5000 matching grant for repairs
- Assistance with nomination to the National Register
- Variances from building codes, setbacks, lot minimums, buffers, and other Land Development Code regulations
- Assisting property owners in obtaining federal and state tax incentives



Utilization of Incentives

Grants Issued and Total Disbursed



Total # of grants issued: 15

Total value of \$ in grants issued:
\$75,000



Proposed Incentives and Changes

Changes to current incentives or new incentives to implement

- Increasing the Historic Façade Grant to \$7,500 or \$10,000
 - Allow for roofs to be included in grants as they are required to be maintained to maintain contributing status
- Waiving building permit fees for restorations, rehabilitations, and repairs of historic properties
- Tax exemption for the increased assessed value of any restorations, rehabilitations, or repairs for up to 10 years
- Allow transfers of development rights
- Local recognition programs



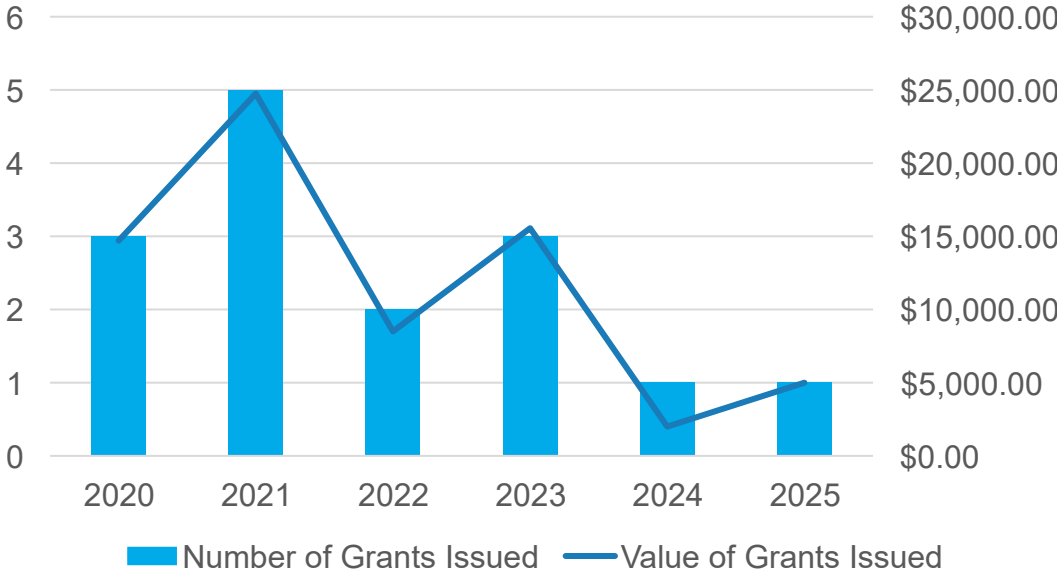
Increasing the Historic Façade Grant

Based on current incentive utilization there is room within the Historic Preservation budget to increase the maximum amount of funding available to each matching grant.

The Historic District is allocated ~\$70,000 annually.

With the recommendation of the Board staff can change the Grant application and prepare a presentation for City Council to inform them of the changes.

Grants Issued and \$ Disbursed



Ad Valorem Tax Exemption

Florida Statute 196.1997 authorizes municipalities to adopt ordinances that allow for property tax exemptions for up to 100% of the increase in assessed improvements resulting from an approved rehabilitation of a qualified historic property. The exemption can last for up to 10 years.

With the recommendation of the Board staff can prepare an ordinance to present to City Council.

Transfer of Development Rights



“I can make more money if I demolish this old building and redevelop this site.”



“I can preserve my building, keep it intact, and sell my unused development potential instead.”

The Historic District is comprised of properties within the Multi-Family Residential zone (R-4), the Single-Family Residential zone (R-2), and the Form-Based Code district. The potential western expansion of the district across Gall Boulevard would also include the Medium Density Residential zone (R-3).

All of these zones are within the Residential Urban (RU) Future Land Use Category which allows for 7.5 – 14 dwelling units per gross acre.

To encourage preservation of Historic properties transferring development rights shifts the allowed units from a property within the Historic District to properties outside the district.

Transfer of Development Rights

- Establish the Historic District as an area where rights **can be sold from.**
- Establish another area within the city where the rights **can be sold to.** (i.e. designated areas within the CRA or within an expanded Form-Based Code District)
- Establish what rights can be sold:
 - Unused building height/stories
 - Unused density
 - A single home on a 1/3-acre lot in an R4 zone has the available density of 4.2 dwelling units per gross acre. The owner could sell the rights of the additional 3 units on their lot to be developed elsewhere within a designated area.
 - A single-story home could sell the development rights to allow another structure in a designated area to exceed the height limit by 1 story.



Transfer of Development Rights

- Market based solution that minimizes direct fiscal impact on the city and leverages private capital for preservation.
 - A TDR bank could also be established by the City to preserve specific properties within the Historic District or elsewhere in the City.
- Based on feedback from and with the recommendation of the Historic Preservation Board staff can draft an ordinance to present to City Council to allow for contributing structures within the Historic District to sell their unused development rights.
- Homes that sell their rights would be placed under a preservation easement or restrictive covenant ensuring the structure cannot be demolished or expanded beyond its existing structure.



Local Recognition Program

Letters of Recognition or Historic Preservation Awards are a low cost way to recognize the efforts of individuals, groups, or organizations that show the best practices of Historic Preservation within the City.



With the recommendation of the Board staff can explore ways to implement an award program.

Waiving building permit fees

Waiving building permit fees can be a no-cost way of making the process of restoring Historic structures easier for residents.

With the recommendation of the Board staff can discuss with the Building Department how to implement a way to waive fees for structures within the Historic District.



Questions?

MEMORANDUM

TO: Historic Preservation Board
FROM: William McCaw - Historic Preservation Planner
DATE: October 30, 2025
SUBJ: Historic District Ordinance Updates

The Certified Local Government program, which is administered by the Florida Bureau of Historic Preservation and the National Park Service, is a program that provides for advocacy at state and federal levels for local governments with Historic Districts. While a locally designated Historic District can effectively preserve the character, culture, and history of an area, the CLG program allows for local Historic Districts to effectively function as Nationally Registered Historic Districts. This means access to a \$50,000 Matching Grant provided by the Department of State's Bureau of Historic Preservation, and waiving of the requirement to match funds.

In order to qualify for the CLG program there are a variety of changes that will be required to be made to the establishing ordinance of the Historic Preservation District. Some key changes include:

- Setting defined timelines for when installment of new members to the board would take place.
- Establishing a regular, quarterly interval for Historic Preservation Board meetings and officially designating a meeting space.
- Including the CLG performance responsibilities (reporting deadlines of meetings, minutes, attendance, changes in Board membership, amendments, and alterations or designations of properties) that staff will meet to maintain eligibility.
- Identifying enforcement actions allowed in response to violations.
- Language changes to some existing segments.

Chapter 154 – Historic Properties and Historic Districts

Sec. 154.01 – Definitions.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

Certificate of appropriateness. A document evidencing approval by the Historic Preservation Board of an application to make a material change in the appearance of a designated historic property or of a property located within a designated historic district.

Certified local government. A government meeting the requirements of the National Historic Preservation Act of 1966, as amended, and the implementing regulations of the U.S. Department of the Interior and the state.

Contributing resource. A building, structure, site, or object which is at least 50 years old and which is located within the boundaries of a designated historic district or historic property and which contributes to the historic or architectural character of the property or district.

Demolition. An act or process that destroys or razes in whole or in part a resource or permanently impairs its structural integrity.

Demolition by neglect. The act or process that allows for gradual deterioration resulting in the loss, in whole or in part, of historic integrity of a resource due to lack of ordinary maintenance or repair.

Exterior architectural features. The architectural style, general design, and arrangement of the exterior of a building or other structure, including but not limited to the building material and type, style, and material of windows, doors, signs, and other appurtenant architectural fixtures, features, details, or elements relative to the foregoing.

Florida Conference of Preservation Boards and Commissions. A coalition of Florida Historic Preservation Boards and Commissions. Formed under the auspices of the Florida Trust for Historic Preservation, its primary functions are to educate preservation commission members and to enable commissions to share ideas.

Historic district. A geographically definable area designated by the Board as a historic district pursuant to the criteria established in section 154.03.

Historic property. An individual building, structure, site, or object including the adjacent area necessary for the proper appreciation thereof designated by the Board as a historic property pursuant to the criteria established in section 154.03.

Historic survey(s). Comprehensive surveys conducted by historic preservation professional including the identification, research, and documentation of buildings, structures, sites, and objects of historical, cultural, archaeological, or architectural importance in the city.

Local register of historic places. A listing of buildings, structures, sites, objects, and districts that have attached a level of local, state, or national historical and architectural significance.

Material change. A change in appearance that will affect either the exterior architectural of a designated historic property or resource located within a designated historic district, such as:

- (1) A reconstruction or alteration of the size, shape, or facade including additions, relocation of any doors or windows, or removal, obscuring or alteration of any architectural features, details, or elements (excluding exterior paint and colors);
- (2) A demolition or relocation; or
- (3) A new construction.

National Register of Historic Places. A United States Department of the Interior listing of buildings, sites, structures, objects, and districts that have attained a quality of significance and integrity as determined by the National Historic Preservation Act of 1966, as amended.

Non-contributing resource. A building, structure, site, or object which is not 50 years old and which is located within the boundaries of a designated historic district or historic property but does not contribute to the historic or architectural character of the property or district.

Ordinary repairs or maintenance. Any work for which a building permit is not required by law where the purpose and effect of such work is to correct any deterioration or decay of or damage to a resource or any part thereof and to restore the same, as nearly as may be practicable, to its conditions prior to the occurrence of such deterioration, decay, or damage.

Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. A federal document stating standards and guidelines for the appropriate rehabilitation and preservation of historic buildings.

State Historic Preservation Officer. The official designated to administer the state historic preservation program established for the purpose of carrying out the provisions of the National Historic Preservation Act of 1966, as amended.

Undue economic hardship. Any action taken or desired under section 154.04 which would place an onerous and excessive financial burden upon an owner that would amount to the taking of the owner's property without just compensation.

Sec. 154.02 – Creation of a Historic Preservation Board.

- (A) *Creation of the Board.* There is hereby created a Board whose title shall be the "Zephyrhills Preservation Board" (hereinafter "Board"). The Board is vested with the power, authority, and jurisdiction to identify, designate, regulate, and administer historical, archaeological, and architectural resources within the city, as herein prescribed under the direct jurisdiction and legislative control of the City Council. The purpose and intent of the Board shall be to establish the framework for a comprehensive preservation program through which these resources are preserved, restored, and rehabilitated.
- (B) *Board position within the city.* The Board shall be part of the planning functions of the city.
- (C) *Board membership.* The Board shall consist of five members and two alternates. Each City Council member shall have the authority to appoint one member of his or her choosing to the Board. Members shall serve without compensation, but shall be reimbursed for actual expenses. In addition, the City Council may appoint a first and second alternate member to the Historic Preservation Board. Such alternates may participate in all authorized functions of the Historic Preservation Board; provided, however, such alternates shall have no vote in the administrative or quasi-judicial determinations of the Historic Preservation Board, except in the temporary absence or disability of a regular member or members, or when such regular member or members shall be disqualified from voting in any particular case or cases.
- (D) *Qualifications.* The Board shall consist of a majority of city residents and persons owning a business registered in the city who shall have knowledge of historical or architectural development within the city or have a deep concern for preservation, development, and enhancement of the historical resources of the city. To the extent available in the community, the City Council shall appoint professional members from the disciplines of architecture, history, archaeology, real estate, building construction or other historic preservation related disciplines. Lay persons who have demonstrated special interest, experience or knowledge in history, architecture or related disciplines shall make up the balance of the Board.

Commented [WM1]: Addresses B.1(a)

- (E) *Terms of office.* Members shall serve three-year terms. In order to achieve staggered terms, initial appointments shall be: two members for two years; and three members for three years. Members may be re-appointed on the expiration of their term during the annual installment of new members in June. Members shall continue in office until the appointment of a successor. Members appointed to fill a vacancy shall serve the remainder of the unexpired term. Initially, one alternate shall be appointed by City Council for two years and one alternate shall be appointed for three years. The Historic Preservation Board alternates shall be appointed prior to the annual installment in June at the beginning of the term.
- (F) *Officers.* Members of the Board shall elect officers from among the members to serve as Chairman and Vice-Chairman for a period of one year, with election of officers being held at the first regular meeting of the year.
- (G) *Vacancies.* Vacancies on the Board caused by the expiration of a term, resignation, removal, death, or permanent absence from the city, or by incapacity of a member, shall be filled by appointment within 60 days. An extension of up to an additional 60 days can be requested by a written request from the Board to the State Historic Preservation Officer.
- (H) *Removal.* Members may be removed from the Board only by a four-fifths vote of the entire membership of the City Council; however, whenever a member of the Board shall fail to attend two of three consecutive meetings, without cause and without prior approval of the Chairman, the Board shall declare the member's office vacant and petition the City Council for the appointment of a new member to fill the vacancy.
- (I) *Rules of procedure.* The Board shall make and prescribe such rules and regulations reasonably necessary and appropriate for the proper administration and enforcement of the provisions of this chapter. Such rules and regulations shall conform to the provisions of this chapter and shall govern and control procedures, hearings, and actions of the Board. No such rules and regulations shall become effective until a public hearing has been held upon the proposed rules and regulations by the Board and the same has been approved by the City Council and filed with the City Clerk. Amendments shall be adopted in a like manner. Upon approval by the Council, such rules and regulations shall have the full force and effect of law within the city.
- (J) *Meetings.* The Board may meet biweekly but shall meet at least four times per year at regular intervals, once per fiscal quarter. The Board may also hold special meetings as the Board may determine. All meetings of the Board shall be open to the public within City Hall, and minutes of each meeting shall be kept and made available to the public. No official action may be taken at any special meeting unless a majority of all members concur. Notice of meetings shall be publicly announced and have a previously advertised agenda. Three members shall constitute a quorum for the purposes of meetings and transacting business. No recommendations or formal action of the Board shall be taken without a majority vote of those voting and without the concurrence of at least two members. Failure to receive a majority vote of those voting and at least two affirmative votes shall act as a denial by the Board.
- (K) *Staff and personnel.* The city shall provide the Board with staff sufficient to undertake the requirements for certification of the state to carry out the duties and responsibilities delegated to Certified Local Governments and the requirements of this chapter. The City Attorney shall serve as legal counsel to the Board in all matters.
- (1) Satisfactory Performance of Certified Local Government responsibilities. The responsibilities required to maintain status as a Certified Local Government in good standing will be maintained to the established standards.
- (a) Prior notice of all meetings of the Board shall be provided to the State Historic Preservation Officer at least 30 calendar days prior to the meeting.

Commented [WM2]: Addresses B.2(e and f)

Commented [WM3]: Establishes intervals to address B.2(h)

Commented [WM4]: Addresses B.4(e)

(b) Following each meeting of the Board, records of attendance of the Review Commission, minutes of the meeting, and public attendance figures shall be submitted to the State Historic Preservation Officer within 30 calendar days of each meeting.

(c) Notification to the State Historic Preservation Officer shall be provided within 30 calendar days for any change in Board membership or any amendments to this Chapter.

(d) When new historic designations or alterations to existing designations are passed by the Board, the State Historic Preservation Officer shall be immediately notified.

(e) By November 1st of each year an annual report covering the activities of the previous year from October 1st to September 30th shall be submitted to the State Historic Preservation Officer. The annual report shall include the following information:

1. A copy of the Rules of Procedure.

2. A copy of the historic preservation ordinance.

3. Resume of Commission members.

4. Changes to the Commission.

5. New Local designations to the District.

6. New National Register listings.

7. Review of survey and inventory activity with a description of the system used.

8. Program report on each grant-assisted activity.

(K)9. Number of projects reviewed.

(L) *Powers and duties of the Board.* It shall be the responsibility of the Board to:

(1) Conduct an ongoing historic survey and inventory of historically, culturally, archaeologically, or architecturally significant resources within the city and to plan for their preservation;

(2) Designate to the City Council specific buildings, structures, sites, objects, or districts to be designated by this chapter as Historic Properties or Historic Districts and listed on the Local Register of Historic Places;

(3) Develop and publish design guidelines with periodic review and update. These guidelines shall include the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings;

(4) Review applications for certificate(s) of appropriateness and grant or deny same in accordance with the provisions of this chapter;

(5) Conduct educational programs on historic properties located in the city and on general historic preservation activities;

(6) Advise and assist property owners and other persons and groups or organizations on physical and financial aspects of preservation, renovation, rehabilitation of historic and cultural resources, and to advise and assist property owners in securing available grant funding, and in obtaining federal and state tax incentives;

(6)(7) Utilize allocated funds to hire professionals or experts when necessary to fulfill other duties and responsibilities of the Board.

(7)(8) Cooperate with and advise local, state, and federal government concerning the effects of local government actions on historic and cultural resources;

(8)(9) Undertake the requirements for certification of the local preservation program by the State Historic Preservation Officer;

(9)(10) Work with the State Historic Preservation Officer on ~~location~~-nominations within the jurisdiction to the National Register of Historic Places pursuant to the Certified Local Government program;

(10)(11) Enforce this chapter and take appropriate action for non-compliance including, but not limited to, issuing citations, levying fines or other civil penalties, revocation or suspension of licenses, permits or franchises, or other remedies as outlined in Chapter 36.;

Commented [WM5]: This subsection is added to satisfy the requirements of B.5 a-i

Commented [WM6]: Modified to meet best practices as proposed by CLG representatives

~~(11)~~(12) Make reasonable effort to attend the State Historic Preservation Office Orientation Program and subsequent training programs for Certified Local Governments and any informational or educational meetings, conferences, or workshops pertaining to work and functions of the Board scheduled by the State Historic Preservation Officer or the Florida Conference of Preservation Boards and Commissions.

Sec. 154.03 – Designation: process and procedure.

- (A) *Creation of a Local Register of Historic Places.* A Local Register of Historic Places is hereby created as a means of identifying and classifying various sites, buildings, structures, objects, and districts as historic, archaeological, and/or architecturally significant. The Local Register will be kept by the Board.
- (B) *Criteria.* In order to qualify as a local historic property or historic district, individual properties or groups of properties must have significant character, interest, or value as part of the historical, cultural, archaeological, aesthetic, or architectural heritage of the city, state, or nation, and:
- (1) Shall possess adequate integrity of location, design, setting, materials, workmanship, feeling, and association; and
 - (2) Shall be at least 50 years of age or the majority of its resources be at least 50 years of age; and
 - (3) Shall meet one or more of the following criteria:
 - (a) Associated with events that have made a significant contribution to the broad patterns of our history;
 - (b) Associated with the lives of persons significant in our past;
 - (c) Embodies the distinctive characteristics of a type, period, or method of construction;
 - (d) Represents a significant and distinguishable entity whose components may lack individual distinction;
 - (e) Represents one of the few remaining examples of a past architectural style, building type, or engineering feature;
 - (f) Represents the notable work of an architect, landscape architect, designer or builder, or possesses high artistic value;
 - (g) Has yielded, or may be likely to yield, information important in prehistory or history; or
 - (h) Is determined eligible for or listed in the National Register of Historic Places.
- (C) *Criteria considerations.* Certain properties which include cemeteries, birthplaces, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, properties commemorative in nature and properties that have achieved significance within the last 50 years, will not normally be considered for designation. However, such properties may qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:
- (1) A religious property deriving primary significance from architectural or artistic distinction of historical importance;
 - (2) A building or structure removed from its location but which is primarily significant for architectural value, or is the surviving structure most importantly associated with a historic event or person;
 - (3) A birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with his/her productive life;
 - (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, distinctive design features, or from association with historic events;
 - (5) A property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own historical significance;
 - (6) A property or district achieving significance within the past 50 years if it is of exceptional importance; or
 - (7) A property listed in the National Register of Historic Places.

(D) *Designation procedure.*

- (1) *Initiation.* Designation of a historic property or historic district which meets the criteria for designation may be initiated by the Board or upon recommendation of its staff, City Council, any private or public organization in the city, or any City Board. Alternately, owners may seek designation of their property; or, for districts, owners within the proposed district may seek designation.
- (2) *Designation of properties or districts.* The following procedure shall be used to designate historic properties or historic districts:
 - (a) The owner of a property, the City Council, any private or public organization in the city, or any City Board may petition for designation by completing a nomination form, available from the Department of Development, and return it to the Board. The Board may also, upon recommendations from staff or upon its own initiative, initiate nomination proceedings on its own accord. Members of the public may recommend sites or districts to the Board;
 - (b) The Board will conduct a preliminary evaluation of the information provided on each nomination form to ensure its conformance with the designation criteria; and
 - (c) The Board, through staff, will then prepare a designation report which will contain the following information:
 1. Proposed legal boundaries of the historic property or district, or archaeological site;
 2. Analysis of the historic, architectural, or cultural significance of the nominated property;
 3. Description of the nominated property including historic, architectural, or archaeological features and non-historic alterations, modifications, and additions;
 - 3-4. Status and condition of the historic, architectural, cultural, or archaeological integrity of the nominated property;
 - 4-5. Sketch of the historic property, site or district, or archaeological site showing contributing and non-contributing resources and proposed boundaries;
 - 5-6. Photographs of the property; and
 - 6-7. Name and address of the owners of the nominated property and owners of the property adjacent to the nominated property.
- (3) The National Register of Historic Places. The National Register of Historic Places is a list of properties maintained by the National Park Service authorized by the National Historic Preservation Act of 1966. The National Register is administered through the National Park Service and has established evaluation criteria and guidelines that allow for properties to be nominated.
- (3)(4) Notification of owner. Where someone other than the property owner nominates a property or district for designation to the local historic district, the Board will notify the owner of the Board's intent to designate and mail a copy of the designation report at least 15 calendar days prior to a public hearing on the Board's designation. For nominations to the National Register notification shall be provided at least 30 calendar days prior to a public hearing on the Board's designation, but no more than 75 calendar days prior. Consent of the owner of any private property that is nominated for designation must be granted prior to designation of any property.
- (4)(5) Notification of city agencies. When a nomination form is filed, the Board shall notify appropriate building and zoning departments and any other city agency that may be affected by the proposed designation.
- (5)(6) Public notification of hearing. A public hearing must be held no sooner than 15 days and within 60 days after the filing of a designation report. Owners of record and adjacent property owners shall be notified of the public hearing by certified mail to the party's last known address. Notice shall also be published at least ten days prior to the hearing in a newspaper of general circulation within the city. Owners shall be given an opportunity at the public hearing to object to the proposed designation. If objecting in writing, a notarized statement must be submitted at least

ten days prior to the nomination being considered at the public hearing. If the owner(s) of record of the nominated property objects to nomination of their property as outlined above, then the nomination of the property shall be withdrawn.

~~(6)~~(7) Public hearing. The Board may present testimony or documentary evidence of its own or may solicit expert testimony to establish a record regarding the historical and architectural importance of the proposed property. The Board shall afford to the owner of the property reasonable opportunity to present testimony or documentary evidence regarding the historical and architectural importance of the proposed designation. Any interested party may present testimony or documentary evidence regarding the proposed designation at the public hearing, and may submit to the Board documentary evidence prior to the hearing. The owner of the property proposed for designation shall be afforded the right of representation by counsel and reasonable opportunity to cross examine witnesses presented by others.

~~(7)~~(8) Temporary delay in permitting for nominated properties. Following the filing of a nomination form, no new permits shall be issued for any new construction, alteration, relocation, or demolition of property included in the nomination. This delay in permitting will remain in effect until the Board either approves or denies the designation or until six months have elapsed, whichever shall occur first. No permit shall be issued for any new construction, alteration, relocation, or demolition of property included in the nomination unless the Board follows the procedures and requirements for a certificate of appropriateness and finds that such a permit may be issued.

~~(8)~~(9) Prompt decision on designation. After the public hearing, the Board shall submit a final report on designation within 15 days following the public hearing.

~~(9)~~(10) Appeals. A property owner aggrieved by the designation shall have the right to appeal the designation to the City Council by filing a written notice within 30 days with the City Clerk. Within 30 days of the date of filing the appeal, or the first City Council meeting scheduled, whichever is latest in time, the City Council shall hear the appeal and issue a final decision.

~~(10)~~(11) Removal of designation. Application may be made for the removal of a property from the Local Register, and the same procedure shall be employed as in the designation of properties under this chapter.

~~(11)~~(12) Notification of designation. Within 30 days following the designation, the owners and occupants of each designated historic property or resource located within a designated historic district, shall be given written notification of such designation, which notice shall apprise the owners and occupants of the necessity of obtaining a Certificate of Appropriateness prior to undertaking any material change to the appearance of the historic property or resource within the historic district. A notice sent via the United States mail to the last-known owner of the property shown on the city's tax roll and a notice sent via United States mail to the address of the property to the attention of occupant shall constitute legal notification to the owner and occupant under this chapter.

~~(12)~~(13) Notification of other agencies regarding designation. The Council shall notify all necessary agencies within the city of the ordinance for designation, including the Local Historical Organization.

~~(13)~~(14) Recording of designation. The Board shall provide the Clerk of the Circuit Court with all designations for the purpose of recording the designation and the Clerk of the Circuit Court shall thereupon record the designation according to law.

(E) Effects of designation.

(1) Signage. The Board is authorized to issue and place a city approved, standard sign or marker on or near the property, indicating that the property has been so designated.

- (2) *Long-term preservation.* Upon designation, the Board, with the owner, may prepare a plan for the long-term preservation of the landmark.
- (3) *Certificate of Appropriateness.* Upon designation, the property shall be subject to regulation by the Board. A certificate of appropriateness issued by the Board shall be required prior to any alteration, new construction, or demolition of the property.
- (4) *Incentives.* Designated properties shall be eligible for the following incentives:
 - (a) Designated properties shall be eligible for any financial assistance set aside for historic preservation projects by the city, the state, or the Federal Government, provided they meet the requirements of those financial assistance programs.
 - (b) The Board shall encourage and assist in the nomination of eligible income-producing properties to the National Register in order to make available to those property owners the investment tax credits for certified rehabilitations pursuant to the Tax Reform Act of 1986 and any other programs offered through the National Register.
 - (c) Designated properties may be eligible for administrative variances or other forms of relief from applicable building codes as follows:
 - 1. Repairs, alterations, and additions necessary for preservation or rehabilitation of designated properties or continued use of a building may be made without conformance to the technical requirements of the Standard Building Code when the proposed work has been issued a certificate of appropriateness by the Board provided that:
 - a. The restored building will be no more hazardous based on consideration of life, fire, and sanitation safety than it was in its original condition; and
 - b. Plans and specifications are sealed by a Florida registered architect or engineer, if required by the Building Official.
 - (d) Owners of designated properties which have received a certificate of appropriateness may be eligible for variances involving setbacks, lot width, depth, area requirements, land development regulations, height limitations, open space requirements, parking requirements, and other similar zoning variances not related to a change in use of the property. Variances will be granted upon a showing that:
 - 1. The variance will be in harmony with the general appearance and character of the community; and
 - 2. The variance will not be injurious to the public health, safety, or welfare.
 - (e) Designated properties may be utilized to satisfy required setbacks, buffer strips, or open space up to the maximum area required by development regulations. Conservation of historic, cultural, or archaeological resources shall qualify for any open space requirements mandated by development regulations.
 - (f) Acreage associated with designated properties preserved within the boundaries of the project shall be included in calculating the project's permitted density.

Sec. 154.04 – Certificate of appropriateness.

- (A) Procedure.
 - (1) *When required.* A certificate of appropriateness must be obtained before a person may undertake a material change in exterior appearance to a designated historic property or resource within a designated historic district, whether or not a building permit is required for such work.
 - (2) *Ordinary maintenance.* If the work constitutes ordinary maintenance or repair of any exterior architectural feature in or on a historic property to correct deterioration, decay, or damage and that does not involve a material change in design, material, or outer appearance thereof, the work may be done without a certificate of appropriateness.

- (3) *Application.* Application for a certificate of appropriateness shall be made to the Building Department on forms obtainable from that office. Drawings, photographs, plans, and specifications shall show proposed exterior alterations, additions, changes, or new construction in sufficient detail to enable the Board to make a decision based on the merits of the proposal.
- (4) *Extension of time.* The Board may extend action for a period of up to 30 additional days. In the case of a demolition application, the Board may suspend action on it for a period not to exceed 180 days. ~~New~~ Construction on a designated historic property for which a certificate of appropriateness is issued shall begin within 12 months from the date of issuance of the certificate of appropriateness.
- (5) *Decision of the Board.* The Board shall apply the ~~relevant Historic Property Design Guideline~~ ~~appropriate~~ criteria for reviewing applications for a certificate of appropriateness and any accompanying information. After review of the application, the Board shall take one of the following actions within two weeks from the date a complete application has been filed:
- (a) Grant the certificate of appropriateness with an immediate effective date;
 - (b) Grant the certificate of appropriateness with special modifications and conditions;
 - (c) Grant the certificate of appropriateness with a deferred effective date, which date shall not exceed six months from the date of issuance; or
 - (d) Deny the Certificate of Appropriateness. Denial of a Certificate of Appropriateness will be accompanied by a written statement of the Board describing the public interest and reasons for the denial.
- (6) *Public hearing.* The Board shall hold a public hearing on an application for a certificate of appropriateness affecting a property under its control. This hearing shall take place as for designation of historic properties. Notification of the applicant and owners of adjacent properties shall occur pursuant to that section. Additional notice shall be posted in a conspicuous place on the property involved in the application at least 15 days prior to the hearing.
- (7) *Demolitions.* An applicant wishing to demolish a designated property has the responsibility of proving that the demolition is necessary and shall present adequate evidence on the need for demolition. The Board shall take into account the situation and resources of the applicant in terms of the requirements for information provided by the applicant, and in the case of economic hardship of an owner-occupied residential building, may provide assistance in compiling necessary data, should the owner so desire.
- (a) The applicant shall explore alternatives to demolition and shall demonstrate this exploration to the Board. These shall include alternative approaches to land use, relocation of the landmark, and incorporation of the landmark into proposed redevelopment. The Board may negotiate with the applicant to see if an alternative can be found. The Board may also ask interested individuals and organizations for assistance in seeking an alternative to demolition.
 - (b) The Board shall study the question of economic hardship for the applicant and shall determine whether the designated landmark can be put to reasonable beneficial use without the approval of the demolition application. For income-producing property, the Board shall also determine whether the applicant can obtain a reasonable rate of return from the existing property.
- (8) *Economic hardship.* An undue hardship shall not be a situation of the person's own making or as a result of any failure to maintain the property in good repair. If the owner claims economic hardship, the Board may or may not require the following information from the owner before deciding on any application:
- (a) An estimate of the cost of proposed construction, alteration, demolition, or removal and an estimate of any additional cost that would be incurred in order to comply with the

recommendation of the Board for changes necessary for the issuance of a certificate of appropriateness.

- (b) A report from a licensed engineer, contractor, or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation.
- (c) The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; after any changes recommended by the preservation Board; and, for proposed demolition, after renovation of the existing property for continued use.
- (d) In the case of proposed demolition, an estimate from ~~two~~ architects, developers, licensed contractors, appraisers, or real estate consultants as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
- (e) The means by which the property was acquired (whether purchase, gift, or inheritance), the amount paid for the property, and the date of purchase or acquisition.

For income-producing property, the Board may also require the following additional information:

- (f) The annual gross income from the property for the previous two years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
 - (g) The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two years;
 - (h) All appraisals obtained within the previous two years in connection with the purchase, financing, or ownership of the property;
 - (i) Any listing of the property for sale or rent, the price asked, and any offers received within the previous two years;
 - (j) The assessed value of the property according to the two most recent assessments;
 - (k) Real estate taxes paid on the property for the previous two years;
 - (l) The ownership of the property, whether sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other; and
 - (m) Any other information, including the income tax bracket of the owner, applicant, or principal investors in the property, considered necessary by the Board to determine whether the property does or may yield a reasonable return to the owners.
- (9) *Demolition by government agencies.* Government agencies having the authority to demolish unsafe buildings shall receive notice of designation of historic properties and historic districts. The Board shall be deemed an interested party and shall be entitled to receive notice of any public hearings conducted by said government agency regarding demolition of any designated property. The Board may make recommendations and suggestions to the government agency and the owner(s) relative to the feasibility of and the public interest in preserving the designated property.
- (10) *Failure to decide.* Failure of the Board to decide on an applied for certificate of appropriateness within the set time limit shall constitute approval of the application.
- (11) *Required maintenance.* Owners of historic properties and contributing resources within historic districts shall not allow their buildings to deteriorate by failing to provide ordinary maintenance or repair.
- (12) *Public safety measures and emergency measures.* No designated property within a historic district may be demolished until the Board has been notified by the responsible Building Code Official that an order for demolition is being prepared and the Board has had an opportunity to discuss the feasibility of emergency measures to secure the property. To remedy emergency conditions determined to be imminently dangerous to life, health, or property, nothing in this chapter shall prevent the making of any temporary construction, reconstruction, demolition, or other repairs to

a property pursuant to an order of a government agency or a court of competent jurisdiction, provided that only such work as is reasonably necessary to correct the hazardous condition may be carried out. The owner of a designated property damaged by fire or natural calamity may stabilize the property immediately and shall be permitted to rehabilitate it later under the normal review procedures.

(13) *Appeals.* Persons aggrieved by the decision of the Board granting or denying a certificate of appropriateness may appeal to the City Council within 15 days of the written decision of the Board by filing a written notice of appeal to the City Clerk. Appeals shall be heard by the City Council at its next regular meeting, provided that at least 15 days have passed between the filing of the notice of appeal and the date of the meeting. The City Council shall hear all evidence and testimony placed before it and shall render its decision promptly. The City Council may affirm, amend, or reverse the decision of the Board. The City Council shall issue a written decision which shall constitute the final administrative review.

(14) *Judicial review.* Appeals from the City Council may be made to the courts as provided by law.

(15) *Penalties for non-compliance.* Failure by an owner of record or any individual or private or public entity to comply with any provisions of this section shall constitute a violation of this section and shall be punishable by the following:

(a) All work performed pursuant to the issuance of a certificate of appropriateness shall conform to the requirements of the certificate. It shall be the duty of the city's Building Department or his or her designated representative to inspect, from time to time, any work performed pursuant to the certificate, to ensure such compliance. If work performed is not in accordance with the certificate, the Building Official or his or her designated representative shall issue a stop work order, and all work shall cease. No person shall undertake any work on the project as long as the stop work order shall continue in effect. All work not in compliance may be required to be removed, regardless of hardship to the owner.

(b) Any person who violates any provision of this section shall forfeit and pay to the city civil penalties equal to the fair market value of any property demolished or destroyed in violation of this section or the costs to repair or rehabilitate any property that is altered in violation of this section. In lieu of a monetary penalty, any person, altering property in violation of this section may be required to repair or restore any such property.

(B) *Criteria.*

(1) In general. Issuance of a certificate of appropriateness, except for demolition of a designated property, shall be guided by the Secretary of the Interior's Standards for Rehabilitation and the local design guidelines on rehabilitation of historic properties.

(a) The Board shall approve the application and issue a certificate if it finds that the proposed material change(s) in the appearance would not have a substantial adverse effect on the historic or architectural significance and value of the historic property or the historic district. In making this determination, the Commission shall consider, in addition to any other pertinent factors, the historical and architectural value and significance, architectural style, general design arrangement, texture and material of the architectural features involved, and the relationship thereof to the exterior architectural style and historic features of the other structures in the immediate neighborhood.

(b) The Board shall deny a certificate if it finds that the proposed material change(s) in appearance would have substantial adverse effects on the historic or architectural significance and value of the historic property or the historic district.

(c) The Board may make approval of a certificate conditional upon complying to certain situations which may be listed in the certificate. These stipulations are to be used only to diminish the

adverse impact of the changes in material appearances proposed in the application for a certificate.

- (2) *Local design guidelines.* The Board shall develop and adopt design review guidelines. These guidelines shall serve as an informational and educational tool for owners of historic properties and properties in historic districts, and shall illustrate, in written and graphic form, the design review criteria, concepts, and ideas by which new construction, alterations, additions, renovations, and other modifications to historic properties and properties in historic districts will be evaluated.
- (3) *Relocations.* If an applicant wishes to move a historic property or resource in a historic district, the Board shall consider:
 - (a) The contribution the resource makes to its present setting;
 - (b) Whether there are definite plans for the use of the site once vacated;
 - (c) Whether the resource can be moved without significant damage to its physical integrity or historic significance; and
 - (d) The compatibility of the resource to its proposed site and adjacent properties.

These considerations shall be in addition to the points contained in the other sections of this chapter.

- (4) *Demolitions.* Decision by the Board approving or denying a certificate of appropriateness for the proposed demolition of a designated property shall be guided by the following factors:
 - (a) The historic and architectural significance of the property;
 - (b) The importance of the structure to the integrity or significance-ambience of a district;
 - (c) The difficulty or impossibility of reproducing such a property because of its design, texture, material, detail, or unique location;
 - (d) Whether the structure is one of the last remaining examples of its kind in the neighborhood, the city, or the region;
 - (e) Whether definite plans exist for the reuse of the property if the proposed demolition is carried out and the likely effects of these plans on the character of the surrounding neighborhood;
 - (f) Whether reasonable measures can be taken to save the structure from collapse;
 - (g) Claimed economic hardship on the owner; and
 - (h) Whether the structure is capable of earning reasonable economic return on its value.
- (5) *New construction.* After the designation of a historic property or historic district, no new building, structure, or object shall be constructed until the owner or occupant thereof has submitted an application for a certificate to the Board, and the Board has approved it. The Board shall consider the compatibility of the new construction with the existing character of the historic property or historic district, but the Board shall not dictate the architectural type of the new construction. Compatible design shall mean architectural design and construction that will fit harmoniously into the historic property or historic district. The Board shall also consider the local design guidelines and following points in review of an application for new construction:
 - (a) Scale, height, and width;
 - (b) Setbacks;
 - (c) Orientation and site coverage;
 - (d) Alignment, rhythm, and spacing of buildings;
 - (e) Form and detail: link between old and new;
 - (f) Maintaining materials;
 - (g) Maintaining quality;
 - (h) Facade proportions and window patterns;
 - (i) Entrances and porch projections;
 - (j) Roof forms; and

(k) Horizontal, vertical, or non-directional emphasis.

