



**CRA MEETING  
ZEPHYRHILLS, FLORIDA**

**Monday, February 23, 2026  
5:00 PM**

Please join the GoToMeeting  
from your computer, tablet or smartphone:

<https://meet.goto.com/855960693>

or dial in using your phone:

**+1 (646) 749-3122- Access Code: 855-960-693**

(Please mute your phone unless you wish to speak on a specific item)

**Zephyrhills  
City Hall**

**Council  
Chambers**

Call to Order — Commissioner Steven F. Spina, PhD

Roll Call — City Clerk Ricardo Quiñones

**1. BUSINESS ITEMS**

- 1.1 Approval of CRA Meeting Minutes - January 26, 2026
  1. 01.26.2026 CRA Minutes
- 1.2 Clock Plaza Construction Documents Scope and Fee
  1. AGR\_Clock Plaza Construction Documents - 20260216-1
  2. 20250916 - Zephyr Clock Plaza Concepts (4)
  3. View from 8th and 5th Aerial
  4. View from 8th and 5th Aerial\_Night
  5. View from 8th and 5th
  6. View from 8th and 5th\_Night
- 1.3 Alice Hall Update
- 1.4 Commercial Improvement Grant \$1.99 Cleaners 4932 Gall Blvd.
  1. SKM\_C650i26021815230

2. CRA DIRECTOR'S REPORT
3. MAIN STREET ACTIVITY REPORT
4. CITIZEN COMMENTS

**ADJOURN**

**\* PLEASE NOTE: This is a Public Meeting. Should any interested party seek to appeal any decision made by the Council with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S. 286.0105. If you are a person with a disability which requires reasonable accommodation in order to participate in this meeting, please contact the City Clerk at 813/780-0000 at least 48 hours prior to the public hearing. A.D.A. and F.S. 286.26.**

## **BUSINESS ITEMS 1.1**

Approval of CRA Meeting Minutes - January 26, 2026

**Issue:**

The Community Redevelopment Agency held a regular meeting on January 26, 2026

**Background:**

Minutes from that meeting were prepared and are presented for the Board's review and approval.

**Attachment(s):**

1. 01.26.2026 CRA Minutes

**Fiscal Impact:**

N/A

**Staff Recommendation:**

Staff recommends approval.

## COMMUNITY REDEVELOPMENT AGENCY MEETING

Page 1 of 2

A Regular CRA Meeting was held on January 26, 2026 at 5:45 PM in the Council Chambers of City Hall and Via GoToMeeting (646) 749-3122 - Access Code: 855-960-693. Vice Chair Jodi Wilkeson called the meeting to order at 5:45 PM

Roll call was taken. Present were members Jodi Wilkeson, Charles Proctor, Kenneth Burgess. City Attorney Matthew Maggard was also present.

Present virtually were Lance Smith, Steven Spina, Mayor Melonie Bahr Monson and City Manager William Poe.

Staff present: Chief of Police Derek Brewer, Lt. Matt Hillen, Officer Keenan Mullins, Public Works Director Shane LeBlance, Building Official Kalvin Switzer, Senior Code Support Specialist Jackie Boges, IT Director Mike Panak, CRA Director Gail Hamilton, Human Resources & Risk Management Director Sandra Amerson, Planning Director Todd Vande Berg, Historic Preservation Specialist Will McCaw, Public Information Officer Kevin Weiss, Assistant City Clerk Eileen Mercado and City Clerk Ricardo Quiñones.

Jodi Wilkeson explained several members were not physically present due to attendance at Legislative Action Days in Tallahassee. A quorum was present in Council Chambers.

***Charles Proctor motioned to discuss business item 1.3 after item 1.1. Seconded by Kenneth Burgess. Motion passed unanimously.***

### **1. BUSINESS ITEMS**

1.1 Approval of CRA Meeting Minutes - December 08, 2025

***Kenneth Burgess motioned to approve the minutes as presented. Seconded by Charles Proctor. Motion passed unanimously.***

1.3 Diane Bell McDaniel Residential Ownership Incentive 5449 10th Street

CRA Director Gail Hamilton presented an application for a Residential Ownership Incentive Grant in the amount of S 10,000 for Diane Bell McDaniel, located at 5449 10th Street, Zephyrhills. She stated this was the first application approved under the increased S 10,000 grant amount and confirmed that the applicant met all program requirements. Staff reviewed the title and closing information and recommended approval.

***Charles Proctor motioned to approve the Residential Ownership Incentive Grant for Diane Bell McDaniel. Seconded by Kenneth Burgess. Motion passed unanimously.***

1.2 2026 Zephyrhills Photo Contest Winner

CRA Director Hamilton announced the 2026 Zephyrhills Photo Contest winners and recognized the photographers present. Awards were presented as follows:

- First Place: "Kid at Hercules Park"
- Second Place: "Airplanes"
- Third Place: "Mural Family"

Staff noted that the first-place photo was submitted to the FCCMA Photo Contest, and the public was encouraged to vote online. Prize checks were distributed to the winners, and the photos will be temporarily displayed before being returned to the photographers.

### **2. CRA DIRECTOR'S REPORT**

CRA Director Gail Hamilton provided a brief update on the Zephyr Park project, stating that the kickoff meeting was held with contractor Reeves Young, consultant Kimley-Horn, and City staff and that construction fencing will be installed soon. Landscaping improvements along 5th Avenue

## **COMMUNITY REDEVELOPMENT AGENCY MEETING**

Page 2 of 2

from U.S. 301 to 12th Street are anticipated to begin by the end of the month, with work on 1st Street to follow, and potentially occur concurrently if feasible. The Clock Plaza portion of the project will begin after Founders Day, as construction cannot start prior to the event. Staff indicated that the scope will primarily include irrigation and landscaping improvements, as well as an addition to the existing restroom facility, with the goal of completion by October.

Discussion followed regarding public communication of closures and minimizing impacts to events and businesses. Staff confirmed that construction on 5th Avenue will not interfere with Founders Day or adjacent businesses and that coordination has occurred to maintain access. Staff also stated that press releases and community updates will be issued regarding project timelines and park improvements.

### **3. MAIN STREET ACTIVITY REPORT**

No Main Street report was provided, as the Main Street Director was attending a required meeting out of town. An update will be provided at a future meeting.

### **4. CITIZEN COMMENTS**

Kim Barker, Vitus Realty, 13915 7th Street, Unit 10, Dade City, addressed the Board regarding the Residential Ownership Incentive Grant program. She shared her experience assisting the grant recipient with the home purchase and stated that the increased grant amount enabled the buyer to submit a competitive offer and secure the property. Ms. Barker expressed appreciation for the program and support for ongoing downtown and CRA investments.

ADJOURN 5:59 PM

Submitted by Ricardo Quiñones

## **BUSINESS ITEMS 1.2**

### Clock Plaza Construction Documents Scope and Fee

**Issue:**

The CRA Board of Commissioners approve Clock Plaza Construction scope and fee with Kimley-Horn and Associates.

**Background:**

The CRA Board included funds for the reconstruction of Clock Plaza in the FY 2025/2026 budget. Staff has been working with Kimley Horn on a Master Plan for Clock Plaza, which was presented and approved at the November 21, 2025, CRA meeting. Concept plans are included in your back-up. The construction scope, included in your back-up, provides for the development of design plans, including: Hardscape plans for the project including dimensions, detailing, specifications, and quantities necessary to construct the proposed improvements, limited to:  
Paving treatments: sidewalk improvements, decorative concrete within the sidewalk, and specialty pavers

An artificial lawn space as defined in the approved Master Plan

Site furnishings specification and layout locations

A prefabricated stage structure

Decorative and landscape lighting

Planting plans consisting of plant material, plant quantities, plant schedules, specifications, and project-specific planting details, including code required planting calculations, if needed, and planting and landscape for areas indicated on the approved Master Plan.

Tree protection, removal and mitigation plans identifying existing trees to be protected in place, removed, or replaced. Calculations for any trees to be removed or replaced will be provided as required by the current land development code.

Irrigation plans for proposed planting areas. Irrigation is anticipated to incorporate existing irrigation mainline and controllers. Additional equipment to provide 100% irrigation coverage will be identified in plans.

Kimley-Horn's Audio/Visual (AV) subconsultant will provide professional AV design services including:

Review of project goals, functional requirements, and system use case.

Development of an overall AV system Architecture.

Identification of control, processing, and signal flow requirements.

Coordination with client stakeholders and technology partners.

AV System Design Drawing with up to 3 revisions.

Up to Two (2) Site Visits.

The scope and fee cost total \$93,500; funding is provided in the approved CRA Budget.

**Attachment(s):**

1. AGR\_Clock Plaza Construction Documents - 20260216-1
2. 20250916 - Zephyr Clock Plaza Concepts (4)
3. View from 8th and 5th Aerial
4. View from 8th and 5th Aerial\_Night
5. View from 8th and 5th
6. View from 8th and 5th\_Night

**Fiscal Impact:**

Funding for this project is provided in the CRA FY 2025/2026 approved budget.

**Staff Recommendation:**

Staff recommends approval of Kimley Horn scope and fee for the reconstruction of Clock Plaza total \$93,500.



February 16, 2026

Gail K. Hamilton, Director  
City of Zephyrhills  
Community Redevelopment Agency  
5335 8th Street  
Zephyrhills, Florida 33542

**Re: Clock Plaza Construction Documents**

Dear Ms. Hamilton:

Kimley-Horn and Associates, Inc. (“Kimley-Horn” or “the Consultant”) is pleased to submit this letter agreement (the “Agreement”) to the City of Zephyrhills Community Redevelopment Agency (“CRA” or “Client”) in accordance with the terms and conditions set forth in the agreement for Professional Services dated June 11, 2018 for providing professional consulting services on the Clock Plaza project site located at the NE corner of the intersection of 5<sup>th</sup> Ave and 8<sup>th</sup> Street in the City of Zephyrhills, Florida. Clock Plaza is approximately .35 acres and is listed as Parcel ID # 11-26-21-0010-16800-0090. The space is to be passive in nature and include elements such as site furnishings, lighting, a water feature, an existing public restroom, a gazebo, etc. Our project understanding, scope of services, and fees are listed below.

**Project Understanding**

It is understood that the City of Zephyrhills wishes to retain Kimley-Horn to prepare construction documents for Clock Plaza. The following assumptions are also part of our project understanding:

- A. The City has provided a survey prepared by D.C. Johnson & Associates dated 5/10/25 which will be used as the base and limits of the proposed site.
- B. The proposed improvements are not anticipated to increase impervious area on the site and therefore will not require stormwater facilities.
- C. The proposed improvements for the project are anticipated to qualify for a 10/2 Certification of Qualification to use a General Permit for a Stormwater Management System.
- D. The construction documents will be based off the Master Plan for Clock Plaza that was approved on 11/21/25 which outlines hardscape, landscape, and other proposed improvements.
- E. There is an existing restroom building on site that will remain.
- F. Offsite improvements will be limited to removal of existing parking spaces and installation of sidewalk along 8th Avenue.
- G. The Project will be designed, permitted, bid, and constructed as one phase.
- H. Building foundations, footings, bearing and spanning systems inside the building will be by others.

- I. Geotechnical testing and analysis will be provided by the Client to Kimley-Horn. Kimley-Horn is not responsible for any errors or omissions within the geotechnical testing data or report, therefore are not liable for any design defects which may occur.
- J. Site electrical engineer will provide power to the water feature equipment panel.

## Scope of Services

### TASK I – MEETINGS AND COORDINATION

This Task will consist of meetings and coordination with the Client as outlined below:

- A. One (1) in person site visit to take inventory and identify opportunities and constraints based on existing conditions.
- B. Up to three (3) virtual conference calls with staff to review plans and comments.
- C. One (1) in person update to the Community Redevelopment Agency and/or City Council.

### TASK II – SCHEMATIC DESIGN PLAN PREPARATION (30% PLANS)

This Task will consist of the preparation of a Schematic Design Plan Set based on the approved master plan. As part of this Task, Kimley-Horn will:

- A. Finalize a preliminary site plan for the proposed areas of new development.
- B. Submit the preliminary site plan to Client for review. Client will circulate the site plan to necessary City departments for review and comment and provide one (1) set of consolidated comments to Kimley-Horn.
- C. Update preliminary plan up to one (1) time based on Client’s review comments. This updated plan will be the basis for construction document preparation and permit submittals.
- D. Prepare one (1) set of Schematic Design Plans (30%), based on the City approved preliminary site plan elements and in accordance with the City of Zephyrhills Land Development Code and Southwest Florida Water Management District (SWFWMD) design requirements. The plans will address:
  - 1. Horizontal control plan.
  - 2. Best management practices plan and details.
  - 3. On-site paving, grading and drainage plan.
  - 4. Landscape and Hardscape design intent plans.
  - 5. Landscape and Hardscape design intent details.
  - 6. Preliminary photometrics, schematic power plans and riser diagrams.
- E. Prepare an Engineer’s Opinion of Probable Construction Cost (EOPCC) based on the approved 30% Schematic Plan set.

**TASK III - FINAL SITE DEVELOPMENT / CONSTRUCTION DOCUMENT PLAN PREPARATION**

- A. Prepare one (1) set of Construction Documents (CD's), based on the City approved 30% Schematic Design Plan Set and in accordance with the City of Zephyrhills Land Development Code and Southwest Florida Water Management District (SWFWMD) design requirements. These plans will be submitted to the City for review and comment at the 60%, and 90% plan stages. The 60% plans will also be submitted to the permitting agencies outlined below. Comments received from the City and permitting agencies on the 60% plans will be incorporated into the 90% plans. Comments received on the 90% plans will be incorporated into the Final 100% Construction Documents. The Construction Documents will include:
1. Horizontal control plan and details.
  2. Best management practices plan and details.
  3. On-site paving, grading and drainage plan and details.
  4. Limited roadway / sidewalk modifications along 8th Ave.
  5. Conduit plans for wire utilities.
  6. Code minimum lighting level plans.
  7. Power plans, riser diagrams, and associated electrical details and schedules.
- B. Provide appropriate documentation of stormwater management for use with submittals to the City of Zephyrhills and SWFWMD, if applicable.
- C. Prepare an updated Engineer's Opinion of Probable Construction Cost (EOPCC) based on the approved Site Development Plan.
- D. Landscape architectural construction documents consisting of the following:
1. Hardscape plans for the project including dimensions, detailing, specifications, and quantities necessary to construct the proposed improvements, limited to:
    - Paving treatments: sidewalk improvements, decorative concrete within the sidewalk, and specialty pavers
    - An artificial lawn space as defined in the approved Master Plan
    - Site furnishings specification and layout locations
    - A prefabricated stage structure
    - Decorative and landscape lighting
  2. Planting plans consisting of plant material, plant quantities, plant schedules, specifications, and project-specific planting details, including code required planting calculations, if needed, and planting and landscape for areas indicated on the approved Master Plan.
  3. Tree protection, removal and mitigation plans identifying existing trees to be protected in place, removed, or replaced. Calculations for any trees to be removed or replaced will be provided as required by the current land development code.

4. Irrigation plans for proposed planting areas. Irrigation is anticipated to incorporate existing irrigation mainline and controllers. Additional equipment to provide 100% irrigation coverage will be identified in plans.
5. Enlargement plans for key design components, as necessary.
6. Detail sheets for key components, as necessary.

Details prepared under this task will describe materials, finishes, systems, equipment, workmanship, quality, and performance criteria. These documents will be submitted to the City for review at approximately the 60%, 90% and 100% / Final stages. Comments received at each stage will be incorporated into the subsequent submittal.

**TASK IV – CITY OF ZEPHYRHILLS SITE DEVELOPMENT PLAN APPLICATION**

- A. Schedule and attend a Pre-submittal meeting with City staff to discuss proposed project.
- B. Prepare and submit one (1) City of Zephyrhills Site Development Plan application package along with site plans and required supporting documentation.
- C. Prepare one (1) written response to reasonable comments relating to the information prepared and submitted by Kimley-Horn for the Site Development Plan application and submit to the City of Zephyrhills with required supporting documentation.
- D. The attendance of one (1) meeting with City staff to resolve comments generated during the City Site Development application review processes is included in the meetings and coordination task.

**TASK V – AUDIO VISUAL SYSTEM DESIGN AND ENGINEERING**

- A. Kimley-Horn's Audio/Visual (AV) subconsultant will provide professional AV design services including:
  1. Review of project goals, functional requirements, and system use case.
  2. Development of an overall AV system Architecture.
  3. Identification of control, processing, and signal flow requirements.
  4. Coordination with client stakeholder and technology partners.
  5. AV System Design Drawing with up to 3 revisions.
  6. Up to Two (2) Site Visits.
- B. Clarifications:
  1. Hardware, third-party licensing, and content creation are excluded unless otherwise noted.
  2. Remote training for equipment operation is included; on-site training is not included.
- C. Exclusions:
  1. Equipment / Technology Procurement.
  2. Physical Installation or cabling.

- 3. Network Infrastructure Design.
- 4. Hardware, third-party licensing, and content creation are excluded unless otherwise noted.

**TASK VI – CONSTRUCTION PHASE SERVICES – SITE CIVIL AND LANDSCAPE ARCHITECTURE**

Kimley-Horn will provide professional construction phase services for the purpose of providing assistance to the City during construction of the project. It has been assumed that the project will be constructed in a single phase and have a duration not exceeding eight (8) calendar months.

Final scope and fee for the construction phase services will be processed as a contract amendment and defined once the method of construction is determined. Services that may be performed include:

- A. Pre-Construction Conference: Kimley-Horn will attend a Pre-Construction Conference with the contractor and City staff prior to commencement of Work at the Site.
- B. Visits to Site and Observation of Construction: Kimley-Horn will provide on-site construction observation services during the construction phase. Kimley-Horn will make site visits monthly to observe the progress of the Work.

Such visits and observations by Kimley-Horn are not intended to be exhaustive or to extend to every aspect of Contractor's work in progress. Observations are to be limited to spot checking, selective measurement, and similar methods of general observation of the Work based on Kimley-Horn's exercise of professional judgment. Based on information obtained during such visits and such observations, Kimley-Horn will evaluate whether Contractor's work is generally proceeding in accordance with the Contract Documents, and Kimley-Horn will keep the City informed of the general progress of the Work.

The purpose of Kimley-Horn's site visits will be to enable Kimley-Horn to better carry out the duties and responsibilities specifically assigned in this Agreement to Kimley-Horn, and to provide the City a greater degree of confidence that the completed Work will conform in general to the Contract Documents. Kimley-Horn shall not, during such visits or as a result of such observations of Contractor's work in progress, supervise, direct, or have control over Contractor's work, nor shall Kimley-Horn have authority over or responsibility for the means, methods, techniques, equipment choice and usage, sequences, schedules, or procedures of construction selected by Contractor, for safety precautions and programs incident to Contractor's work, nor for any failure of Contractor to comply with laws and regulations applicable to Contractor's furnishing and performing the Work. Accordingly, Kimley-Horn neither guarantees the performance of any Contractor nor assumes responsibility for any Contractor's failure to furnish and perform its work in accordance with the Contract Documents.

- C. Recommendations with Respect to Defective Work. Kimley-Horn will recommend to Client that Contractor's work be disapproved and rejected while it is in progress if, based on its observations, Kimley-Horn believes that such work will not produce a completed Project that generally conforms to the Contract Documents.
- D. Clarifications and Interpretations: Kimley-Horn will respond to reasonable and appropriate Contractor requests for information and issue necessary clarifications and interpretations of the

Contract Documents to the City as appropriate to the orderly completion of Contractor's work. Any orders authorizing variations from the Contract Documents will be made by the City.

- E. Change Orders: Kimley-Horn may recommend Change Orders to the Client, and will review and make recommendations related to Change Orders submitted or proposed by the Contractor.
- F. Shop Drawings and Samples: Kimley-Horn will review and approve or take other appropriate action in respect to Shop Drawings and Samples and other data which Contractor is required to submit, but only for conformance with the information given in the Contract Documents. Such review and approvals or other action will not extend to means, methods, techniques, equipment choice and usage, sequences, schedules, or procedures of construction or to related safety precautions and programs.
- G. Substitutes and "or-equal." Kimley-Horn will evaluate and determine the acceptability of substitute or "or-equal" materials and equipment proposed by Contractor in accordance with the Contract Documents.
- H. Disagreements between Client and Contractor. Kimley-Horn will, if requested by Client, render written decision on all claims of Client and Contractor relating to the acceptability of Contractor's work or the interpretation of the requirements of the Contract Documents. In rendering decisions, Kimley-Horn shall be fair and not show partiality to Client or Contractor and shall not be liable in connection with any decision rendered in good faith.
- I. Applications for Payment. Based on its observations and on review of applications for payment and supporting documentation, Kimley-Horn will determine amounts that Kimley-Horn recommends Contractor be paid. Such recommendations will be based on Kimley-Horn's knowledge, information and belief, and will state whether in Kimley-Horn's opinion Contractor's work has progressed to the point indicated, subject to any qualifications stated in the recommendation. For unit price work, Kimley-Horn's recommendations of payment will include determinations of quantities and classifications of Contractor's work, based on observations and measurements of quantities provided with pay requests. Kimley-Horn's recommendations will not be a representation that its observations to check Contractor's work have been exhaustive, extended to every aspect of Contractor's work, or involved detailed inspections.
- J. Substantial Completion. Kimley-Horn will, after notice from Contractor that it considers the Work ready for its intended use, in company with Client and Contractor, conduct a site visit to determine if the Work is substantially complete. Work will be considered substantially complete following satisfactory completion of all items with the exception of those identified on a final punch list.
- K. Inspections and Tests: Kimley-Horn may require such special inspections or tests of Contractor's work as Kimley-Horn deems appropriate, and receive and review certificates of inspections within the Kimley-Horn's area of responsibility or of tests and approvals required by laws and regulations or the Contract Documents. Kimley-Horn's review of such certificates will be for the purpose of determining that the results certified indicate compliance with the Contract Documents and will not constitute an independent evaluation that the content or procedures of such inspections, tests, or approvals comply with the requirements of the Contract Documents. Kimley-Horn shall be entitled

to rely on the results of such tests and the facts being certified. Any retesting that is required due to initial test failure will be considered and additional service.

- L. Record Drawings: Kimley-Horn will review the record drawings prepared by the Contractor's Surveyor (licensed in the state of Florida) and make changes recorded by the Contractor to the Final Civil Engineering Plans. Kimley-Horn will prepare a Record Drawing plan set for the project in accordance with applicable City criteria. Kimley-Horn will submit the Record Drawings to the City for their records as part of the certification task below and forward the files to them in both AutoCAD and PDF format. This task assumes minor changes to the plans only and significant changes to permitted plans may require additional fee. This task does not include any site visits to verify the drawings provided by the Surveyor.
- M. Certification Documents: Based on the results of the final observations of the site, test reports, record drawings, and other documentation pertinent to the project, Kimley-Horn will prepare and submit the certificates of completion of construction. This contract is based on one set of certifications of completion of construction for the project. These certifications shall include City of Zephyrhills and the SWFWMD. Kimley-Horn shall not be required to execute any certifications or other documents that might, in the judgment of Kimley-Horn, violate professional standards, increase the Kimley-Horn's risk or affect the availability or cost of its insurance.
- N. Final Notice of Acceptability of the Work. Kimley-Horn will conduct a final site visit to determine if the completed Work of Contractor is generally in accordance with the Contract Documents and the final punch list so that Kimley-Horn may recommend final payment to Contractor. Accompanying the recommendation for final payment, Kimley-Horn shall also provide a notice that the Work is generally in accordance with the Contract Documents to the best of Kimley-Horn's knowledge, information, and belief based on the extent of its services and based upon information provided to Kimley-Horn.

Limitation of Responsibilities: Kimley-Horn shall not be responsible for the acts or omissions of any Contractor, or of any of their subcontractors, suppliers, or of any other individual or entity performing or furnishing the Work. Kimley-Horn shall not have the authority or responsibility to stop the work of any Contractor.

## Services Not Included

Any other services, including but not limited to the following, are not included in this Agreement:

1. Geotechnical services
2. Subsurface utility survey and exploration
3. Surveying services
4. Architectural services
5. Hazardous waste service
6. Archaeological investigation services
7. Historical investigation and building assessment services
8. FDEP National Pollutant Discharge Elimination System (NPDES) permit

**Additional Services**

Any services not specifically provided for in the above scope will be considered additional services and can be performed for an additional fee upon written authorization from Client. Additional services we can provide include the following:

1. Attendance at meetings, hearings and/or presentations beyond those specifically outlined in the tasks above.
2. Attendance and/or facilitation of public workshops.
3. Architectural, engineering, or landscape architectural, services beyond those specifically outlined in the tasks above.
4. Preparation of grant applications.
5. Preparation of permit applications outside of those outlined above and/or permit expediting.
6. Survey location of underground utilities.
7. Traffic studies or analysis.
8. Signage design and permitting
9. Additional permitting or coordination with SWFWMD as required if the 10/2 certification is rejected due to the new SWFWMD regulations being instituted in 2026.
10. Prepare design and construction documents for any proposed water features.

**Information to be Provided by Client**

Kimley-Horn will be entitled to rely on the completeness and accuracy of all information provided by the Client. The Client will provide all information requested by Kimley-Horn during the project, including but not limited to the following.

1. Existing City utilities within the project limits.
2. Existing survey and as-built/record drawings for project site areas.
3. Relevant previous studies and public comments prepared for the site.
4. Geotechnical report

**Fees and Billing**

Kimley-Horn will perform the services in Tasks I – VI for the total lump sum fee below. Individual task amounts are informational only. All permitting, application, and similar project fees will be paid directly by the Client.

TASK	DESCRIPTION	FEE
I	MEETINGS AND COORDINATION	\$12,000
II	SCHEMATIC DESIGN PLAN PREPARATION (30% PLANS)	\$22,500
III	FINAL SITE DEVELOPMENT / CONSTRUCTION DOCUMENT PLAN PREPARATION (60%, 90%, AND FINAL PLANS)	\$40,000
IV	CITY OF ZEPHYRHILLS SITE DEVELOPMENT PLAN APPLICATION	\$10,000
V	AUDIO VISUAL SYSTEM DESIGN AND ENGINEERING	\$9,000
VI	CONSTRUCTION PHASE SERVICES	TBD
	TOTAL LUMP SUM FEES	\$93,500

Direct reimbursable expenses such as express delivery services, fees, and other direct expenses will be billed at 1.15 times cost.

Lump sum fees and expenses will be invoiced monthly based upon the overall percentage of services performed and/or amount of effort expended and expenses incurred. Payment will be due within 25 days of your receipt of the invoice and should include the invoice number and Kimley-Horn project number.

**Closure**

In addition to the matters set forth herein, our Agreement shall include and be subject to, and only to, the terms and conditions in the attached Standard Provisions, which are incorporated by reference. As used in the Standard Provisions, the term "the Consultant" shall refer to Kimley-Horn and Associates, Inc., and the term "the Client" shall refer to the of the City of Zephyrhills.

Kimley-Horn, in an effort to expedite invoices and reduce paper waste, submits invoices via email in an Adobe PDF format. We can also provide a paper copy via regular mail if requested. Please provide the following information:

\_\_\_\_ Please email all invoices to \_\_\_\_\_

\_\_\_\_ Please copy \_\_\_\_\_

If you concur in all the foregoing and wish to direct us to proceed with the services, please have authorized persons execute both copies of this Agreement in the spaces provided below, retain one copy, and return the other to us. We will commence services only after we have received a fully-executed agreement. Fees and times stated in this Agreement are valid for sixty (60) days after the date of this letter.

To ensure proper set up of your projects so that we can get started, please complete and return with the signed copy of this Agreement the attached Request for Information. Failure to supply this information could result in delay in starting work on your project.

We appreciate the opportunity to provide these services. Please contact me if you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



James R. Pankonin, PLA  
Vice President



Nick Guida, PLA  
Project Manager

Attachments: Request for Information, Standard Provisions

JRP/NSG/("G:\Marketing\Propose\City of Zephyrhills\CRA\Clock Plaza\Clock Plaza.docx")

Agreed to this \_\_\_\_ day of \_\_\_\_\_, 2026

**CITY OF ZEPHYRHILLS**

By \_\_\_\_\_

\_\_\_\_\_  
Please Type/Print Name and Title

\_\_\_\_\_  
Email Address

Attest: \_\_\_\_\_

\_\_\_\_\_  
Please Type/Print Name and Title



**Request for Information**

*Please return this information with your signed contract; failure to provide this information could result in delay in starting your project*

**Client Identification**

Full, Legal Name of Client					
Mailing Address for Invoices					
Contact for Billing Inquiries					
Contact's Phone and e-mail					
Client is (check one)	Owner	<input type="checkbox"/>	Agent for Owner	<input type="checkbox"/>	Unrelated to Owner

**Property Identification**

	Parcel 1	Parcel 2	Parcel 3	Parcel 4
Street Address				
County in which Property is Located				
Tax Assessor's Number(s)				

**Property Owner Identification**

	Owner 1	Owner 2	Owner 3	Owner 4
Owner(s) Name				
Owner(s) Mailing Address				
Owner's Phone No.				
Owner of Which Parcel #?				

**Project Funding Identification – List Funding Sources for the Project**


*Attach additional sheets if there are more than 4 parcels or more than 4 owners*

**KIMLEY-HORN AND ASSOCIATES, INC.**  
**STANDARD PROVISIONS**

- 1) **Kimley-Horn's Scope of Services and Additional Services.** Kimley-Horn will perform only the services specifically described in this Agreement ("Services"). Any services that are not set forth in the scope of Services described herein will constitute additional services ("Additional Services"). If requested by the Client and agreed to by Kimley-Horn, Kimley-Horn will perform Additional Services, which shall be governed by these provisions. Unless otherwise agreed to in writing, the Client shall pay Kimley-Horn for any Additional Services an amount based upon Kimley-Horn's then-current hourly rates plus an amount to cover certain direct expenses including telecommunications, in-house reproduction, postage, supplies, project related computer time, and local mileage. Other direct expenses will be billed at 1.15 times cost.
- 2) **Client's Responsibilities.** In addition to other responsibilities herein or imposed by law, the Client shall:
  - a. Designate in writing a person to act as its representative, such person having complete authority to transmit instructions, receive information, and make or interpret the Client's decisions.
  - b. Provide all information and criteria as to the Client's requirements, objectives, and expectations for the project and all standards of development, design, or construction.
  - c. Provide Kimley-Horn all available studies, plans, or other documents pertaining to the project, such as surveys, engineering data, environmental information, etc., all of which Kimley-Horn may rely upon.
  - d. Arrange for access to the site and other property as required for Kimley-Horn to provide its services.
  - e. Review all documents or reports presented by Kimley-Horn and communicate decisions pertaining thereto within a reasonable time so as not to delay Kimley-Horn.
  - f. Furnish approvals and permits from governmental authorities having jurisdiction over the project and approvals and consents from other parties as may be necessary.
  - g. Obtain any independent accounting, legal, insurance, cost estimating, and feasibility services required by Client.
  - h. Give prompt written notice to Kimley-Horn whenever the Client becomes aware of any development that affects Kimley-Horn's services or any defect or noncompliance in any aspect of the project.
- 3) **Period of Services.** Unless otherwise stated herein, Kimley-Horn will begin work after receipt of a properly executed copy of this Agreement. This Agreement assumes conditions permitting continuous and orderly progress through completion of the services. Times for performance shall be extended as necessary for delays or suspensions due to circumstances that Kimley-Horn does not control. If such delay or suspension extends for more than six months, Kimley-Horn's compensation shall be renegotiated.
- 4) **Method of Payment.** Client shall pay Kimley-Horn as follows:
  - a. Invoices will be submitted periodically for services performed and expenses incurred. Payment of each invoice will be due within 25 days of receipt. The Client shall also pay any applicable sales tax. All retainers will be held by Kimley-Horn and applied against the final invoice. Interest will be added to accounts not paid within 25 days at the maximum rate allowed by law. If the Client fails to make any payment due under this or any other agreement within 30 days after Kimley-Horn's transmittal of its invoice, Kimley-Horn may, after giving notice to the Client, suspend services and withhold deliverables until all amounts due are paid.
  - b. The Client will remit all payments electronically to:

Account Name: KIMLEY-HORN AND ASSOCIATES, INC.  
Bank Name and Address: WELLS FARGO BANK, N.A., SAN FRANCISCO, CA 94104  
Account Number: 2073089159554  
ABA#: 121000248
  - c. The Client will send the project number, invoice number and other remittance information by e-mail to [payments@kimley-horn.com](mailto:payments@kimley-horn.com) at the time of payment.
  - d. If the Client relies on payment or proceeds from a third party to pay Kimley-Horn and Client does not pay Kimley-Horn's invoice within 60 days of receipt, Kimley-Horn may communicate directly with such third party to secure payment.
  - e. If the Client objects to an invoice, it must advise Kimley-Horn in writing giving its reasons within 14 days of receipt of the invoice or the Client's objections will be waived, and the invoice shall conclusively be deemed due and owing. If the Client objects to only a portion of the invoice, payment for all other portions remains due.
  - f. If Kimley-Horn initiates legal proceedings to collect payment, it shall recover, in addition to all amounts due, its reasonable attorneys' fees, reasonable experts' fees, and other expenses related to the proceedings. Such expenses shall include the cost, at Kimley-Horn's normal hourly billing rates, of the time devoted to such proceedings by its employees.

- g. The Client agrees that the payment to Kimley-Horn is not subject to any contingency or condition. Kimley-Horn may negotiate payment of any check tendered by the Client, even if the words “in full satisfaction” or words intended to have similar effect appear on the check without such negotiation being an accord and satisfaction of any disputed debt and without prejudicing any right of Kimley-Horn to collect additional amounts from the Client.
- 5) **Use of Deliverables.** All documents, data, and other deliverables prepared by Kimley-Horn are related exclusively to the services described in this Agreement and may be used only if the Client has satisfied all of its obligations under this Agreement. They are not intended or represented to be suitable for use or reuse by the Client or others on extensions of this project or on any other project. Any modifications by the Client to any of Kimley-Horn’s deliverables, or any reuse of the deliverables without written authorization by Kimley-Horn will be at the Client’s sole risk and without liability to Kimley-Horn, and the Client shall indemnify, defend and hold Kimley-Horn harmless from all claims, damages, losses and expenses, including but not limited to attorneys’ fees, resulting therefrom. Kimley-Horn’s electronic files and source code remain the property of Kimley-Horn and shall be provided to the Client only if expressly provided for in this Agreement. Any electronic files not containing an electronic seal are provided only for the convenience of the Client and use of them is at the Client’s sole risk. In the case of any defects in the electronic files or any discrepancies between them and the hardcopy of the deliverables prepared by Kimley-Horn, the hardcopy shall govern.
- 6) **Intellectual Property.** Kimley-Horn may use or develop its proprietary software, patents, copyrights, trademarks, trade secrets, and other intellectual property owned by Kimley-Horn or its affiliates (“Intellectual Property”) in the performance of this Agreement. Intellectual Property, for purposes of this section, does not include deliverables specifically created for Client pursuant to the Agreement and use of such deliverables is governed by section 5 of this Agreement. Unless explicitly agreed to in writing by both parties to the contrary, Kimley-Horn maintains all interest in and ownership of its Intellectual Property and conveys no interest, ownership, license to use, or any other rights in the Intellectual Property to Client. Any enhancements of Intellectual Property made during the performance of this Agreement are solely owned by Kimley-Horn and its affiliates. If Kimley-Horn’s services include providing Client with access to or a license for Kimley-Horn’s (or its affiliates’) proprietary software or technology, Client agrees to the terms of the Software License Agreement set forth at <https://www.kimley-horn.com/khts-software-license-agreement> (“the License Agreement”) which terms are incorporated herein by reference.
- 7) **Opinions of Cost.** Because Kimley-Horn does not control the cost of labor, materials, equipment or services furnished by others, methods of determining prices, or competitive bidding or market conditions, any opinions rendered as to costs, including but not limited to the costs of construction and materials, are made solely based on its judgment as a professional familiar with the industry. Kimley-Horn cannot and does not guarantee that proposals, bids or actual costs will not vary from its opinions of cost. If the Client wishes greater assurance as to the amount of any cost, it shall employ an independent cost estimator. Kimley-Horn’s services required to bring costs within any limitation established by the Client will be paid for as Additional Services.
- 8) **Termination.** The obligation to provide further services under this Agreement may be terminated by either party upon seven days’ written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof, or upon thirty days’ written notice for the convenience of the terminating party. Kimley-Horn shall be paid for all services rendered and expenses incurred to the effective date of termination, and other reasonable expenses incurred by Kimley-Horn as a result of such termination.
- 9) **Standard of Care.** The standard of care applicable to Kimley-Horn’s services will be the degree of care and skill ordinarily exercised by consultants performing the same or similar services in the same locality at the time the services are provided. No warranty, express or implied, is made or intended by Kimley-Horn’s performance of services, and it is agreed that Kimley-Horn is not a fiduciary with respect to the Client.
- 10) **LIMITATION OF LIABILITY.** In recognition of the relative risks and benefits of the Project to the Client and Kimley-Horn, the risks are allocated such that, to the fullest extent allowed by law, and notwithstanding any other provisions of this Agreement or the existence of applicable insurance coverage, that the total liability, in the aggregate, of Kimley-Horn and Kimley-Horn’s officers, directors, employees, agents, and subconsultants to the Client or to anyone claiming by, through or under the Client, for any and all claims, losses, costs, attorneys’ fees, or damages whatsoever arising out of or in any way related to the services under this Agreement from any causes, including but not limited to, the negligence, professional errors or omissions, strict liability or breach of contract or any warranty, express or implied, of Kimley-Horn or Kimley-

Horn's officers, directors, employees, agents, and subconsultants, shall not exceed twice the total compensation received by Kimley-Horn under this Agreement or \$50,000, whichever is greater. Higher limits of liability may be negotiated for additional fee. This Section is intended solely to limit the remedies available to the Client or those claiming by or through the Client, and nothing in this Section shall require the Client to indemnify Kimley-Horn.

- 11) **Mutual Waiver of Consequential Damages.** In no event shall either party be liable to the other for any consequential, incidental, punitive, or indirect damages including but not limited to loss of income or loss of profits.
- 12) **Construction Costs.** Under no circumstances shall Kimley-Horn be liable for extra costs or other consequences due to changed or unknown conditions or related to the failure of contractors to perform work in accordance with the plans and specifications. Kimley-Horn shall have no liability whatsoever for any costs arising out of the Client's decision to obtain bids or proceed with construction before Kimley-Horn has issued final, fully approved plans and specifications. The Client acknowledges that all preliminary plans are subject to substantial revision until plans are fully approved and all permits obtained.
- 13) **Certifications.** All requests for Kimley-Horn to execute certificates, lender consents, or other third-party reliance letters must be submitted to Kimley-Horn at least 14 days prior to the requested date of execution. Kimley-Horn shall not be required to execute certificates, consents, or third-party reliance letters that are inaccurate, that relate to facts of which Kimley-Horn does not have actual knowledge, or that would cause Kimley-Horn to violate applicable rules of professional responsibility.
- 14) **Dispute Resolution.** All claims arising out of this Agreement or its breach shall be submitted first to mediation in accordance with the American Arbitration Association as a condition precedent to litigation.
- 15) **Hazardous Substances and Conditions.** Kimley-Horn shall not be a custodian, transporter, handler, arranger, contractor, or remediator with respect to hazardous substances and conditions. Kimley-Horn's services will be limited to analysis, recommendations, and reporting, including, when agreed to, plans and specifications for isolation, removal, or remediation. Kimley-Horn will notify the Client of unanticipated hazardous substances or conditions of which Kimley-Horn actually becomes aware. Kimley-Horn may stop affected portions of its services until the hazardous substance or condition is eliminated.
- 16) **Construction Phase Services.**
  - a. If Kimley-Horn prepares construction documents and Kimley-Horn is not retained to make periodic site visits, the Client assumes all responsibility for interpretation of the documents and for construction observation, and the Client waives any claims against Kimley-Horn in any way connected thereto.
  - b. Kimley-Horn shall have no responsibility for any contractor's means, methods, techniques, equipment choice and usage, equipment maintenance and inspection, sequence, schedule, safety programs, or safety practices, nor shall Kimley-Horn have any authority or responsibility to stop or direct the work of any contractor. Kimley-Horn's visits will be for the purpose of observing construction and reporting to the Client whether the contractors' work generally conforms to the construction documents prepared by Kimley-Horn. Kimley-Horn neither guarantees the performance of contractors, nor assumes responsibility for any contractor's failure to perform its work in accordance with the contract documents.
  - c. Kimley-Horn is not responsible for any duties assigned to it in the construction contract that are not expressly provided for in this Agreement. The Client agrees that each contract with any contractor shall state that the contractor shall be solely responsible for job site safety and its means and methods; that the contractor shall indemnify the Client and Kimley-Horn for all claims and liability arising out of job site accidents; and that the Client and Kimley-Horn shall be made additional insureds under the contractor's general liability insurance policy.
- 17) **No Third-Party Beneficiaries; Assignment and Subcontracting.** This Agreement gives no rights or benefits to anyone other than the Client and Kimley-Horn, and all duties and responsibilities undertaken pursuant to this Agreement will be for the sole benefit of the Client and Kimley-Horn. The Client shall not assign or transfer any rights under or interest in this Agreement, or any claim arising out of the performance of services by Kimley-Horn, without the written consent of Kimley-Horn. Kimley-Horn reserves the right to augment its staff with subconsultants as it deems appropriate due to project logistics, schedules, or market conditions. If Kimley-Horn exercises this right, Kimley-Horn will maintain the agreed-upon billing rates for services identified in the contract, regardless of whether the services are provided by in-house employees, contract employees, or independent subconsultants.

- 18) **Confidentiality.** The Client consents to the use and dissemination by Kimley-Horn of photographs of the project and to the use by Kimley-Horn of facts, data and information obtained by Kimley-Horn in the performance of its services. If, however, any facts, data or information are specifically identified in writing by the Client as confidential, Kimley-Horn shall use reasonable care to maintain the confidentiality of that material.
- 19) **Miscellaneous Provisions.** This Agreement is to be governed by the law of the State of Florida. This Agreement contains the entire and fully integrated agreement between the parties and supersedes all prior and contemporaneous negotiations, representations, agreements, or understandings, whether written or oral. Except as provided in Section 1, this Agreement can be supplemented or amended only by a written document executed by both parties. Any conflicting or additional terms on any purchase order issued by the Client shall be void and are hereby expressly rejected by Kimley-Horn. If Client requires Kimley-Horn to register with or use an online vendor portal for payment or any other purpose, any terms included in the registration or use of the online vendor portal that are inconsistent or in addition to these terms shall be void and shall have no effect on Kimley-Horn or this Agreement. Any provision in this Agreement that is unenforceable shall be ineffective to the extent of such unenforceability without invalidating the remaining provisions. The non-enforcement of any provision by either party shall not constitute a waiver of that provision nor shall it affect the enforceability of that provision or of the remainder of this Agreement.
- (20) PURSUANT TO FS 558.0035, EMPLOYEES OF KIMLEY-HORN  
MAY NOT BE HELD INDIVIDUALLY LIABLE FOR DAMAGES  
RESULTING FROM NEGLIGENCE UNDER THIS AGREEMENT.

An aerial photograph of a modern plaza. The plaza features a large, wide staircase with a metal railing. There are several circular greenery areas, some with low concrete walls. The ground is paved with light-colored tiles. People are seen walking and sitting on the plaza. The overall design is clean and contemporary.

# ZEPHYRHILLS CLOCK PLAZA

## CONCEPTUAL DESIGN



PUBLIC ART/  
CLOCK FOUNTAIN

PLANTING  
BED (TYP)

STAGE

ARTIFICIAL TURF

FESTOON  
LIGHTING

EXISTING  
TREES (TYP)

EXPANDED  
PLANTER/BENCH

ENHANCED  
PAVERS

CONCRETE

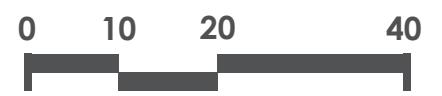
DECORATIVE  
WALL

EXISTING  
RESTROOM  
BUILDING

# PLAZA CONCEPT A

SEPTEMBER 2025

Kimley»Horn



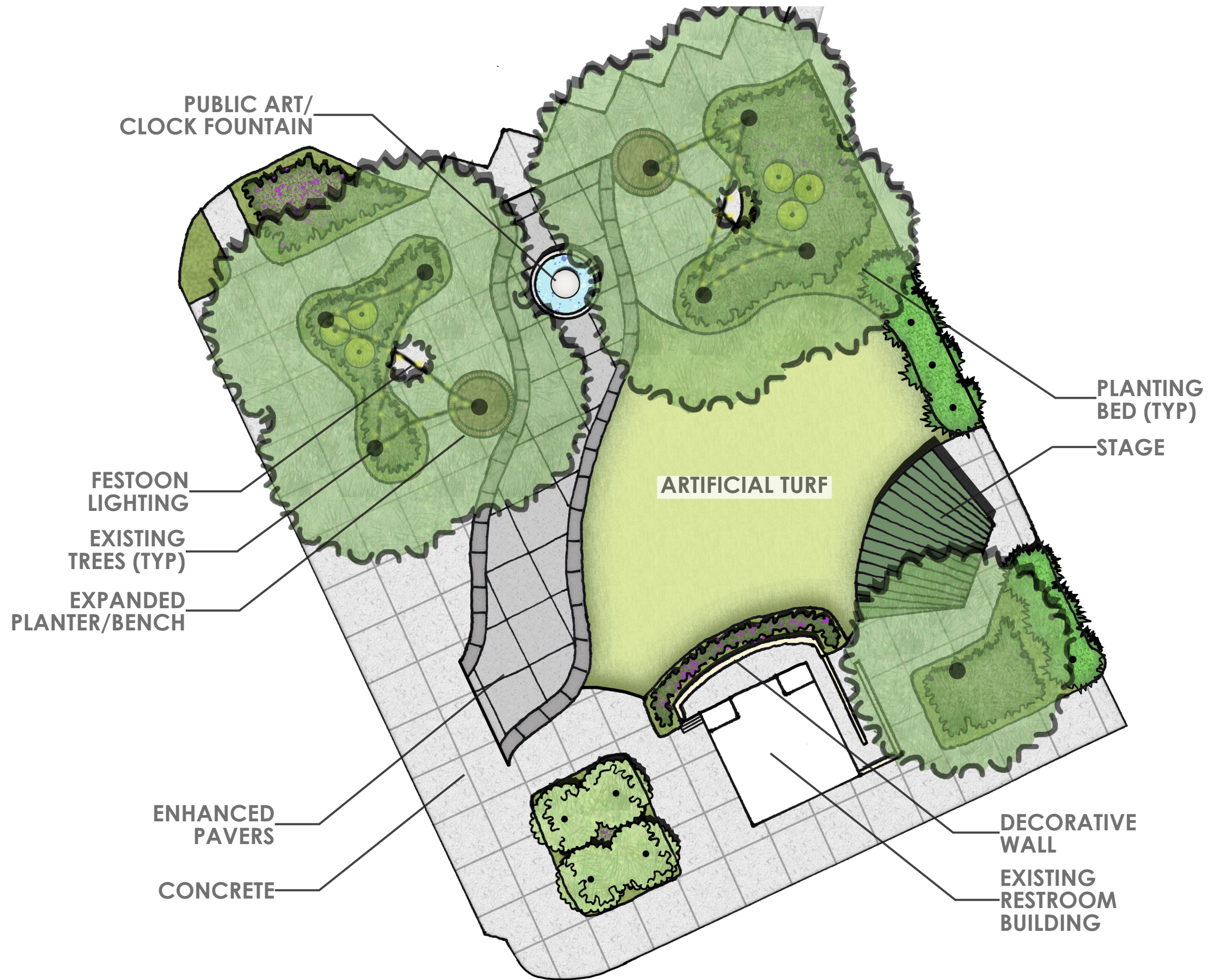


# PLAZA CONCEPT B

SEPTEMBER 2025

Kimley»Horn





# PLAZA CONCEPT A

SEPTEMBER 2025

Kimley»Horn





PUBLIC ART/  
CLOCK FOUNTAIN

SEAT WALL

ENHANCED  
PAVERS

RAISED SEATING  
STAGE

ARTIFICIAL TURF

FESTOON  
LIGHTING

EXISTING  
TREES (TYP)

EXPANDED  
PLANTER/BENCH

PRIVACY  
WALL

EXISTING  
RESTROOM  
BUILDING

PLANTING  
BED (TYP)

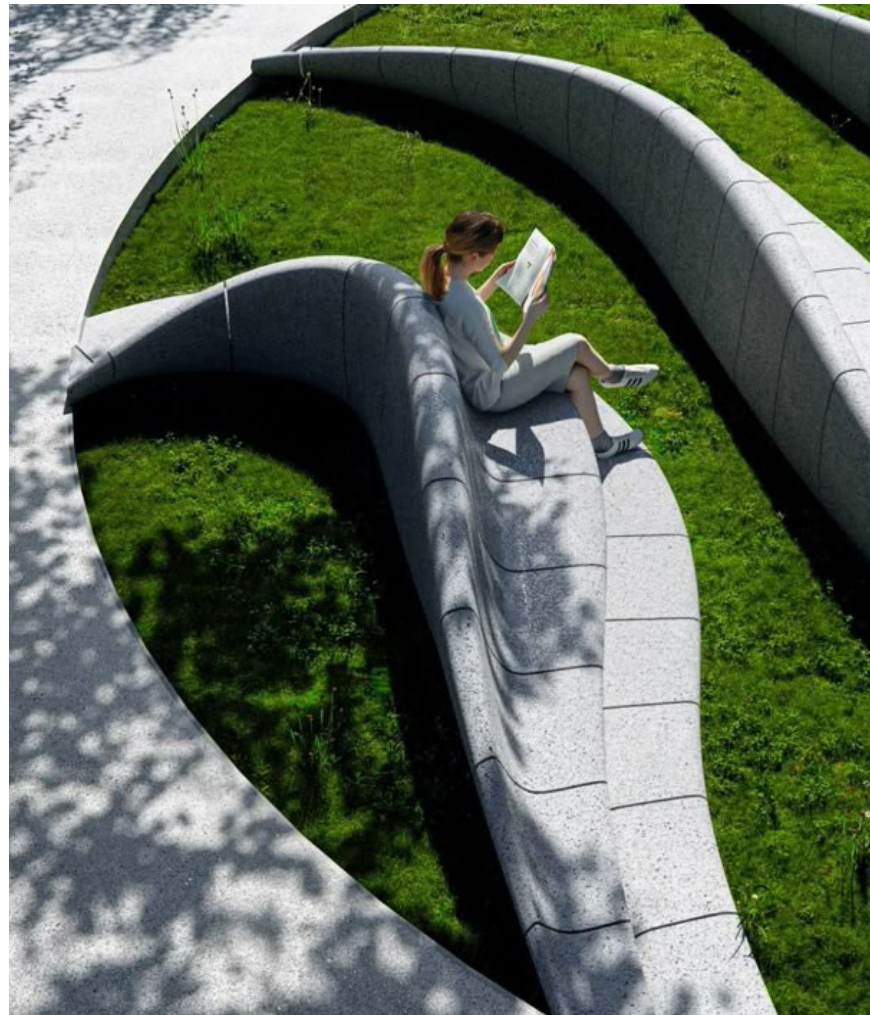
CONCRETE

# PLAZA CONCEPT B

SEPTEMBER 2025

Kimley»Horn

Page 27 of 51



# PRECEDENT IMAGERY

SEPTEMBER 2025









## **BUSINESS ITEMS 1.3**

### Alice Hall Update

**Issue:**

At the February 9, 2026, City Council meeting, staff was asked to provide an update on Alice Hall for the February 23, 2026, meeting.

**Background:**

On February 10, 2026, City staff, City Manager Poe, Public Works Director Shane LeBlanc and CRA Director, met with Architect Aaron Banks of Furr, Wegman and Banks, to discuss the design, location, and construction of Alice Hall at Zephyr Park. Mr. Banks will provide a scope and fee for services which will be presented to the City Council for approval.

**Attachment(s):**

None

**Fiscal Impact:**

Funding for the construction of Alice Hall was included in the 2025 Bond Series.

**Staff Recommendation:**

Project Update Only

## **BUSINESS ITEMS 1.4**

Commercial Improvement Grant \$1.99 Cleaners 4932 Gall Blvd.

### **Issue:**

Vincent Hernandez, owner of the \$1.99 Cleaners located at 4932 Gall Blvd. has submitted a Commercial Improvement Grant for the installation of an aluminum structure and awning in the rear of his business.

### **Background:**

Mr. Hernandez's application includes 3 quotes for the aluminum structure and an awning for the rear of his business to improve loading and unloading of goods. The lowest of the three quotes is \$27,000. The application also includes fence quotes, but the grant does not cover fences. Once the work is completed and passed inspections by the City of Zephyrhills Building Department, all contractors have been paid in full. The CRA will reimburse Mr. Hernandez \$13,500, as described in the grant application.

### **Attachment(s):**

1. SKM\_C650i26021815230

### **Fiscal Impact:**

Funding for the Commercial Improvement Grant Program is provided in the FY 2025/2026 approved CRA Budget.

### **Staff Recommendation:**

The grant application meets all requirements and staff recommends approval.



# COMMERCIAL IMPROVEMENT GRANT APPLICATION

City of Zephyrhills – Community Redevelopment Agency (CRA)  
5335 8th Street, Zephyrhills, FL 33542 • (813) 780-0000 • www.ci.zephyrhills.fl.us/CRA  
(CRA Use Only: Application No. \_\_\_\_\_ Date Received: \_\_\_\_\_)

## Section 1 – Applicant Information

Applicant Name (Business or Individual): E&V Cleaners Inc DBA #199 Cleaners  
Contact Person: Vincent Hernandez  
Mailing Address: 26652 Shoregrass Dr  
City: Wesley Chapel State: FL Zip: 33544  
Phone: 813-610-7181 Email: vhernan3@yahoo.com  
Business Tax Receipt #: 109268 (attach copy)

## Section 2 – Property Information

Property Address of Proposed Improvements: 4932 Gall Blvd Zephyrhills FL 33542  
Property Parcel ID #: 14-26-21-0010-00800-0120  
Property Owner Name: Vincent Hernandez  
Property Owner Mailing Address (if different): 26652 Shoregrass Dr Wesley Chapel FL 33544  
Is the applicant the property owner?  Yes  No

If tenant, provide:

- Business Name: \_\_\_\_\_
- Lease Expiration Date: \_\_\_\_\_
- Attach notarized letter of authorization from the property owner.

## Section 3 – Project Description

Provide a brief description of the proposed improvements and project objectives:

Add Structured Awning/carport to back area  
Fence property

Project Type (check all that apply):

- Façade / Exterior Painting  Awnings / Canopies  Signage
- Windows / Doors  Lighting  Parking Lot
- Fire Suppression  Grease Trap  Interior (Food Service Only)  Other: fence

*jump right in*



**Section 4 – Project Details and Costs**

Estimated Total Project Cost: \$ 35,000 +

Amount of Grant Funds Requested: \$ 5,000<sup>00</sup>

Applicant Match (minimum one-to-one): \$ \_\_\_\_\_

Anticipated Start Date: February 1<sup>st</sup> 2026

Anticipated Completion Date: March 1<sup>st</sup> 2026

Licensed Contractor(s): St. Pauls Roofing & Construction

Florida Contractor License #: CBC 1268822

**Section 5 – Attachments Checklist**

Applicants must include the following with this application:

- Proof of Property Ownership or Notarized Owner Authorization Letter (if tenant).
- Copy of current City of Zephyrhills Business Tax Receipt.
- Proof that both City and County property taxes are current.
- At least three written estimates, bids, or proposals from licensed contractors for each type of improvement.
- Color photographs showing existing building conditions.
- Drawings, renderings, or material specifications for proposed improvements.
- Project schedule showing anticipated start and completion dates.
- Proof of contractor licensing and insurance.

*Note: Incomplete applications will be returned without review. All attachments must be legible and submitted on standard letter-size paper.*

**Section 6 – Applicant Certification**

I certify that the information provided in this application is true and accurate to the best of my knowledge. I understand that any work performed prior to CRA Board approval will invalidate this application and render the project ineligible for funding. I further understand that all improvements must comply with applicable City codes, permitting requirements, and CRA program conditions.

Signature of Applicant: Vincent E. Hernandez Date: 1-24-26

Printed Name: Vincent Hernandez

Signature of Property Owner (if applicable): Vincent Hernandez Date: 1/24/26

Printed Name: Vincent Hernandez

**For CRA Use Only**

Application Received Date: \_\_\_\_\_

Reviewed By: \_\_\_\_\_

CRA Staff Review: \_\_\_\_\_ Date: \_\_\_\_\_

Planning Department Review: \_\_\_\_\_ Date: \_\_\_\_\_

CRA Board Approval:  Approved  Denied Date: \_\_\_\_\_

CRA Signature: \_\_\_\_\_ Title: \_\_\_\_\_



Date Received 11/24/29

Owner's Name Vincent Hernandez Owner Phone Number 813-610-7181

Owner's Address 26652 Shoregrass Dr Wesley Chapel FL 33544 Owner Phone Number

Fee Simple Titleholder Name Owner Phone Number

Fee Simple Titleholder Address

JOB ADDRESS 4932 Gall Blvd Zephyrhills, FL 33542 LOT #

SUBDIVISION PARCEL ID#

WORK PROPOSED  NEW CONSTR  ADDIALT  SIGN  DEMOLISH  
 INSTALL  REPAIR

PROPOSED USE  SFR  COMM  OTHER

TYPE OF CONSTRUCTION  BLOCK  FRAME  STEEL

DESCRIPTION OF WORK

BUILDING SIZE 23' x 45' x 12' SQ FOOTAGE 12,420 HEIGHT 10-12 ft

BUILDING \$ 27,000 VALUATION OF TOTAL CONSTRUCTION

ELECTRICAL \$ AMP SERVICE  PROGRESS ENERGY  W.R.E.C.

PLUMBING \$

MECHANICAL \$ VALUATION OF MECHANICAL INSTALLATION

GAS  ROOFING  SPECIALTY  OTHER

FINISHED FLOOR ELEVATIONS FLOOD ZONE AREA  YES  NO

BUILDER SIGNATURE [Signature] COMPANY REGISTERED Saint Paul's Roofing and Construction  
 Y/N FEE CURREN Y/N License # CB01268822

Address 1601 N Macdon St Tampa, FL 33602

ELECTRICIAN SIGNATURE COMPANY REGISTERED Y/N FEE CURREN Y/N License #

PLUMBER SIGNATURE COMPANY REGISTERED Y/N FEE CURREN Y/N License #

MECHANICAL SIGNATURE COMPANY REGISTERED Y/N FEE CURREN Y/N License #

OTHER SIGNATURE COMPANY REGISTERED Y/N FEE CURREN Y/N License #

RESIDENTIAL Attach (1) Plot Plans; (1set, with 1 thumb drive) of Building Plans; (1) set of Energy Forms; R-O-W Permit for new construction. Minimum thirty (30) working days after submittal date. Required onsite, Construction Plans, Stormwater Plans w/ Silt Fence installed Sanitary Facilities & 1 dumpster; Site Work Permit for subdivisions/large projects

COMMERCIAL Attach (1 set, 1 thumb drive) complete sets of Building Plans plus a Life Safety Page; (1) set of Energy Forms, R-O-W Permit for new Minimum thirty (30) working days after submittal date. Required onsite, Construction Plans, Stormwater Plans w/ Silt Fence installed, Sanitary Facilities & 1 dumpster, Site Work Permit for all new projects. All commercial requirements must meet compliance

SIGN PERMIT Attach (2) sets of Engineered Plans.  
 \*\*\*\*PROPERTY SURVEY required for all NEW construction.

Directions:  
 Fill out application completely.  
 Owner & Contractor sign back of application, notarized  
 If over \$5,000, a Notice of Commencement is required. (A/C upgrades over \$7,500)  
 \*\* Agent (for the contractor) or Power of Attorney (for the owner) would be someone with notarized letter from owner authorizing same

OVER THE COUNTER PERMITTING (Front of Application Only)  
 Reroofs w/ shingles Sewers Service Upgrades Fences (Plot/Survey/Footage)

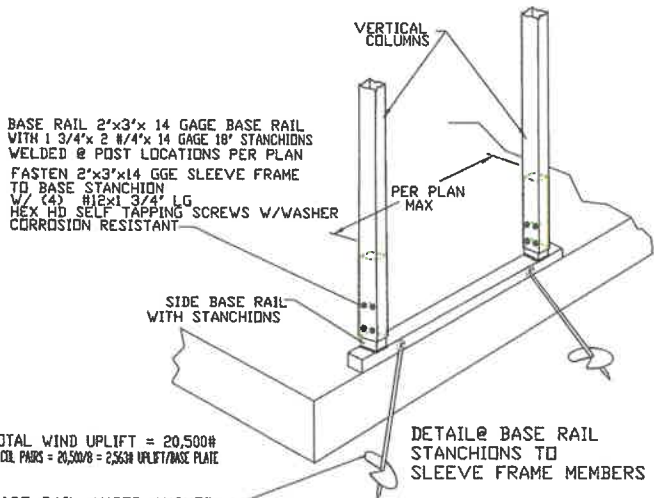
Driveways-Not over Counter if on public roadways..needs ROW

**ENGINEER'S NOTES:**

1. THE DESIGN WIND SPEED PER ADC HAZARDS BY LOCATION = 150 MPH/116 MPH/50 3 SEC GUST
2. THE WIND RISK CATEGORY = I
3. THE WIND EXPOSURE CATEGORY = B
4. THE INTERNAL PRESSURE COEFFICIENT FOR THIS OPEN STRUCTURE = +/- 0.00
5. COMPONENTS & CLADDING DESIGN PRESSURES FOR EXP B PER ASCE 7-22
- WIND PRESSURE/ROOF ZONE 1(20)SF+11/-32 PSF WALL ZONE 4(0)SF+16/-18 PSF  
 ROOF ZONE 2(10)SF+11/-40 PSF WALL ZONE 3(15)SF+16/-20 PSF  
 ROOF ZONE 3(10)SF+12/-51PSF
- 6) ROOF LIVE LOAD=20 PSF ROOF DEAD LOAD=5 PSF
- 7) RAFTER STEEL TUBING TO BE 60,000 PSI MIN YIELD STRENGTH MIN. 70,000 PSI TENSILE STRENGTH A151 1020 DOM GALVANIZED STEEL
- 8) ROOF AND WALL FRAME FASTENERS TO BE S.F.S. #14x 3/4" 38000 TENSILE 2850 # SHEAR TEXS MIN CORROSION RESISTIVE

**CONCRETE NOTES:**

- 1) A MINIMUM OF 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI
2. REINFORCING STEEL SHALL MEET ASTM A615 GRADE 60
3. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS  
 SLAB ON GRADE CENTERED  
 FOOTINGS 3" MIN COVER
4. WELDED WIRE MESH REINFORCEMENT SHALL BE ACCORDING TO ASTM A185
5. ALL REINFORCEMENT SHALL BE HELD IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE
6. TERMITE TREATMENT PROVISIONS PER F.B.C. SECTIONS#104.2.6&104.2.7 &SECTION #1816 AS LISTED ON SHEET #2



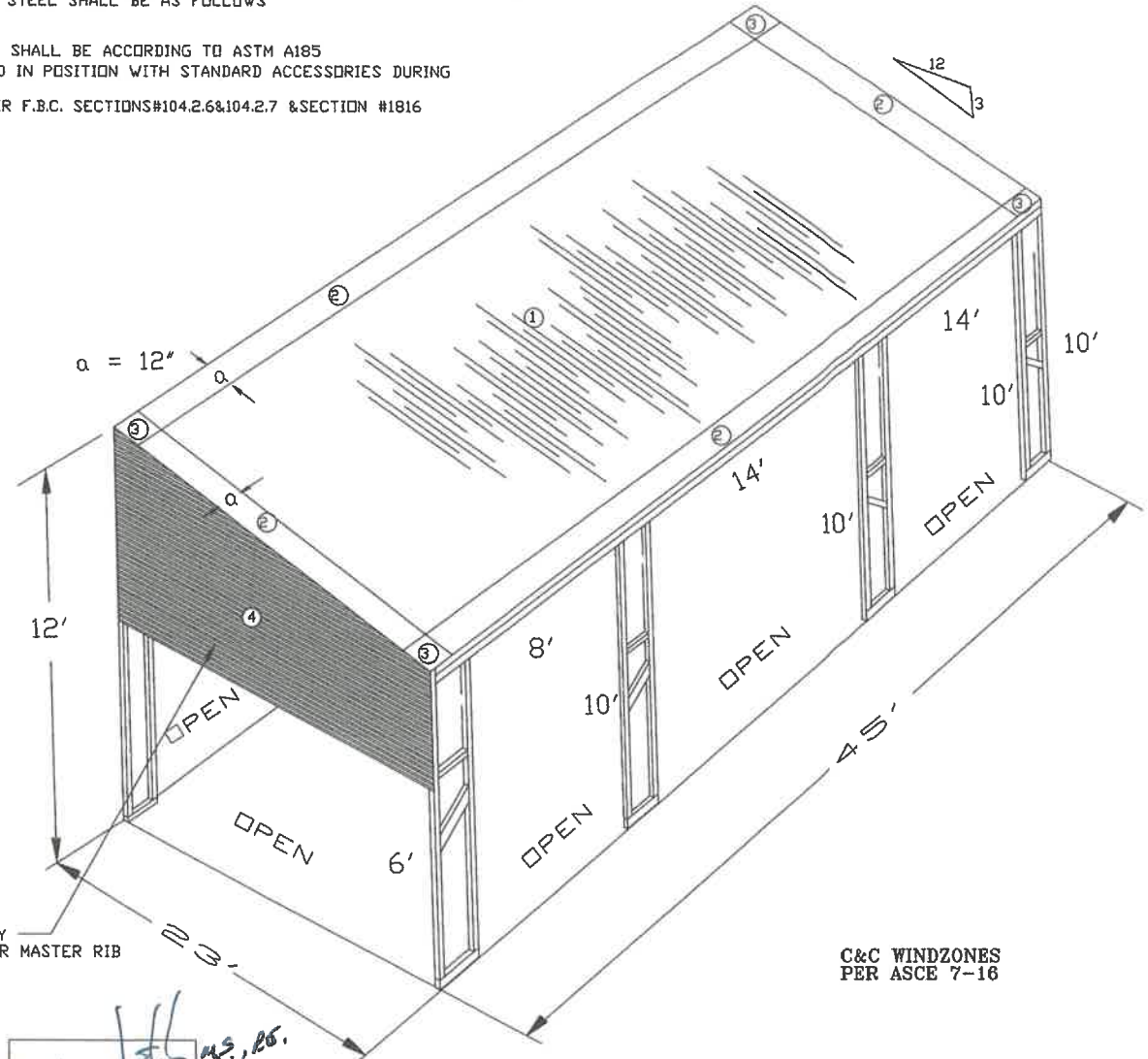
TOTAL WIND UPLIFT = 20,500#  
 8 COL PAYS = 20,500/8 = 2,563# UPLIFT/BASE PLATE

BASE RAIL AUGER ANCHOR:  
 TIEDOWN 3" I ANCHOR  
 4" DIA DISC W/ 40" MIN  
 EMBEDMENT IN EARTH  
 MINUTE MAN 650 MMA4 C/E  
 RATED 3100# MIN IN CLASS 3 SOIL  
 OR EQUIVALENT

ILLUSTRATION OF  
 TYPICAL  
 BASE RAIL W/ STANCHIONS  
 ALTERNATIVE CONNECTION  
 TO EARTH

**DETAIL H'**  
 TO GROUND

SEE DETAIL H SHT#6



**DAVID  
 W Smith**

THIS LEFT END ONLY  
 26 GAGE R PANEL DR MASTER RIB  
 POLAR WHITE  
 Digitally signed by  
 DAVID W Smith  
 Date: 2025.10.17  
 09:45:06 -04'00'

I hereby certify that I have performed and reviewed this plan and found it to be in compliance with ASCE 7-22 and the FLORIDA BUILDING CODE, 2023 8TH edition

David W. Smith, M.S., P.E. #53608

*David W. Smith M.S., P.E.*  
 10-17-2025

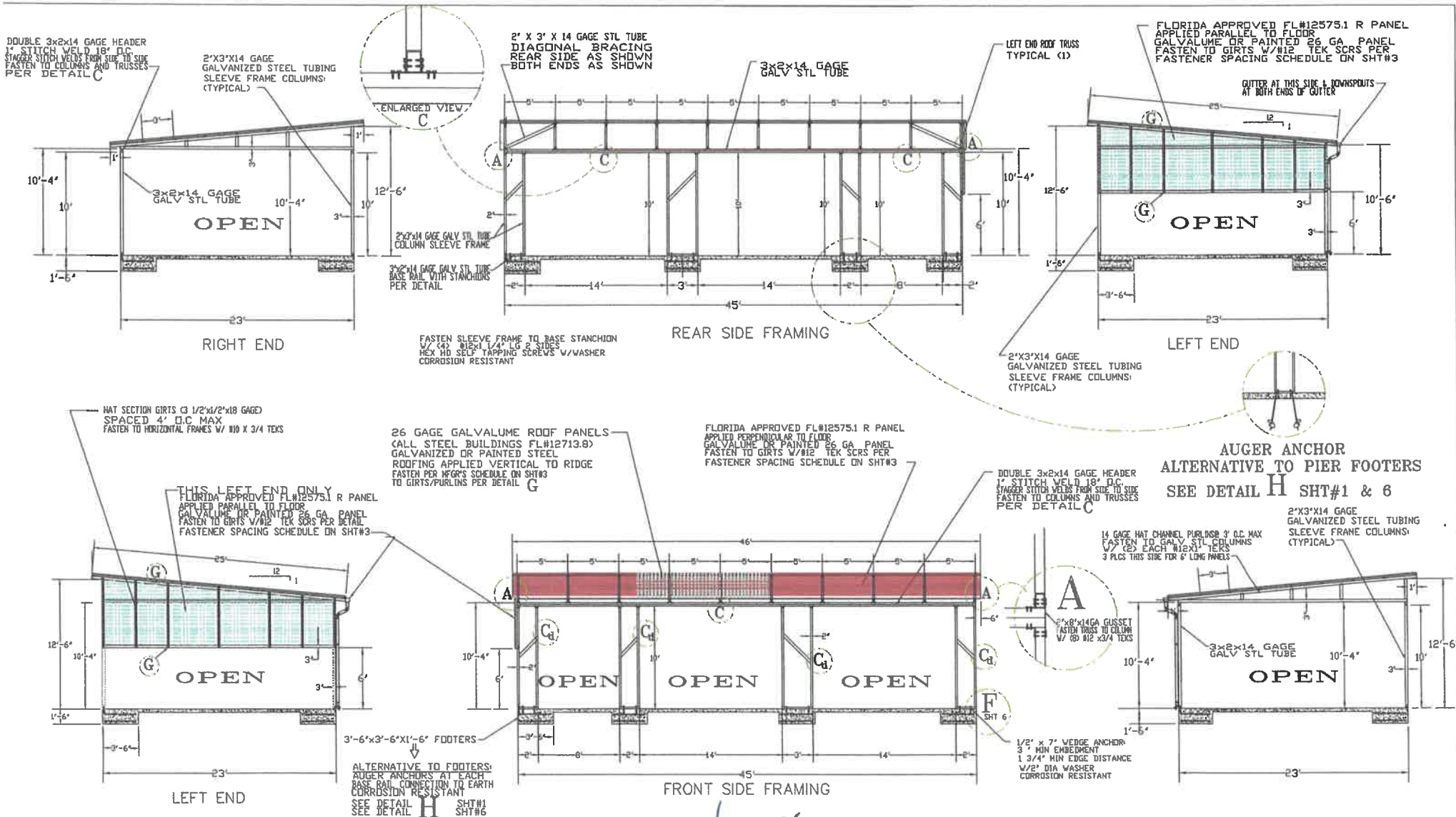


**TUBULAR  
 DIVISION**  
 10159 US HIGHWAY 41 SOUTH  
 GIBSONTON, FLORIDA 33534  
 FAX: 813-671-8602

**D.W.SMITH, M.S., P.E. #35608**  
 FLORIDA PROFESSIONAL ENGINEER LICENSE NUMBER 33608  
**Projects Consulting Engineer**  
 9909 VALLASTON DRIVE-DADE CITY, FLORIDA 33525  
 PHONE/TEXT: 813 469 2287 E-MAIL: [dws@dwsmithllc.com](mailto:dws@dwsmithllc.com)  
 SKYLAR ROBERTS  
 4932 LALL BOULEVARD  
 ZEPHYRHILLS, FLORIDA 33542

23' x 45' x 10' EVE  
 OPEN COVER  
 SCALE DO NOT SCALE  
 DATE 10-12-2025  
 DRAWN D.W.SMITH

JOB NO.  
 25T042  
 SHEET OF  
 1 OF 6



DAVID W. Smith

Digitally signed by  
DAVID W. Smith  
Date: 2025.10.17

*David W. Smith, M.S., P.E.*  
10.17.2025

I hereby certify that I have performed and reviewed this plan and it to be in compliance with ASCE 7 -22 and the FLORIDA BUILDING CODE, 2023 8TH edition

David W. Smith, M.S., P.E. #53608

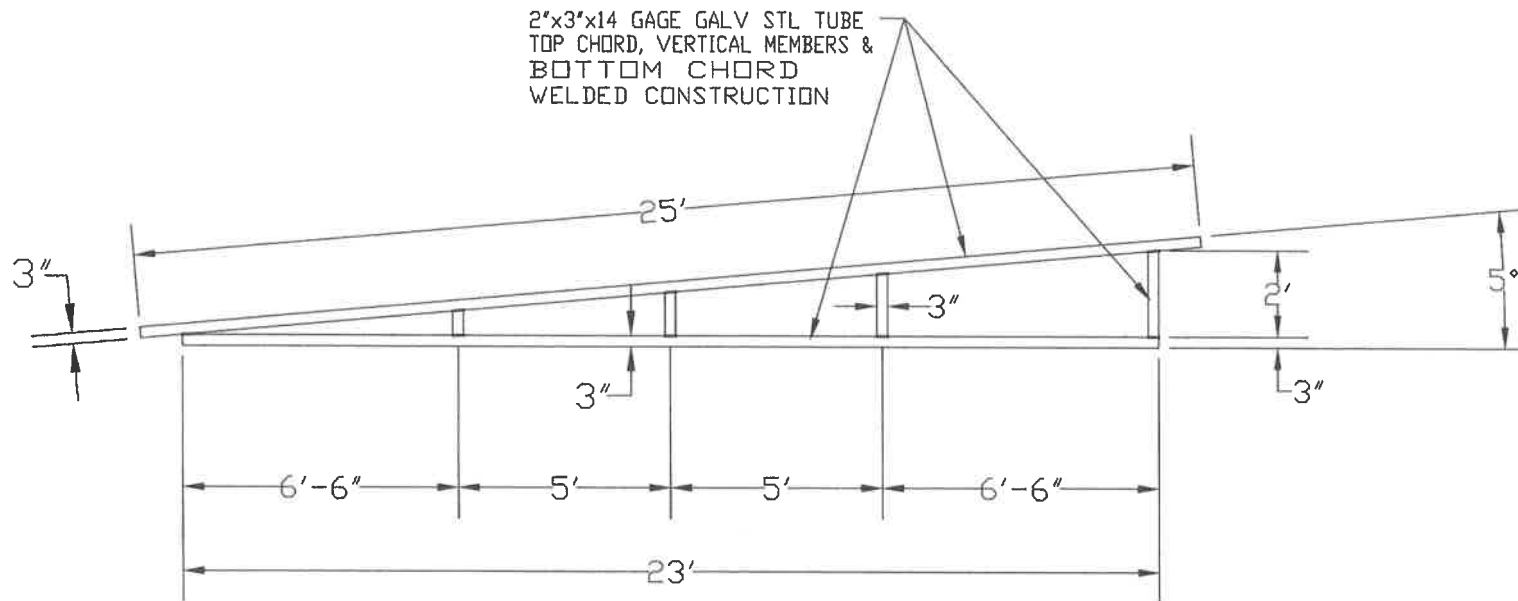
David V. Smith, P.E. #33608



**TUBULAR DIVISION**  
10159 US HIGHWAY 41 SOUTH  
GIBSONTON, FLORIDA 33534  
813-871-8044  
800-331-8341  
FAX: 813-871-8602

**D.W. SMITH, M.S., P.E. #35608**  
FLORIDA PROFESSIONAL ENGINEER LICENSE NUMBER 33608  
*Projects Consulting Engineer*  
9909 WALLASTON DRIVE-DADE CITY, FLORIDA 33525  
PHONE/TEXT: 813 463 2209 E-MAIL: dws@dwsmithinc.net  
**SKYLER FOREST**  
4935 GALL BOULEVARD  
ZEPHYRHILLS, FLORIDA 33542

23' x 45' x 10' EVE OPEN COVER		JOB NO. 25T042
SCALE DO NOT SCALE	DATE 10-12-2025	SHEET OF 2 OF 6
DRAWN D.W. SMITH		



ROOF TRUSSES EXCEPT LEFT END  
TYPICAL (9)

DAVID  
W Smith

Digitally signed  
by DAVID W  
Smith  
Date: 2025.10.17  
09:47:40 -04'00'

*David W. Smith*  
10/17/2025  
MS, P.E.

I hereby certify that I have performed and reviewed this plan and found it to be in compliance with ASCE '7 -22 and the FLORIDA BUILDING CODE, 2023 8TH edition

David W. Smith, M.S., P.E. #53608

AL STEEL BUILDINGS  
&  
COMPONENTS

TUBULAR  
DIVISION

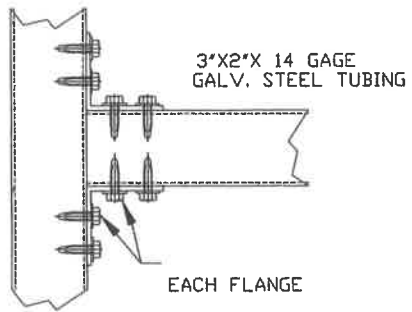
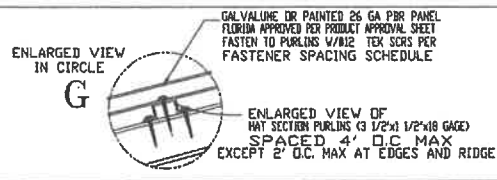
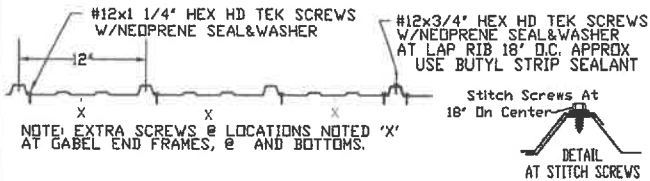
10159 US HIGHWAY 41 SOUTH  
GIBSONTON, FLORIDA 33534  
813-871-8044  
800-331-8341

FAX: 813-871-8802

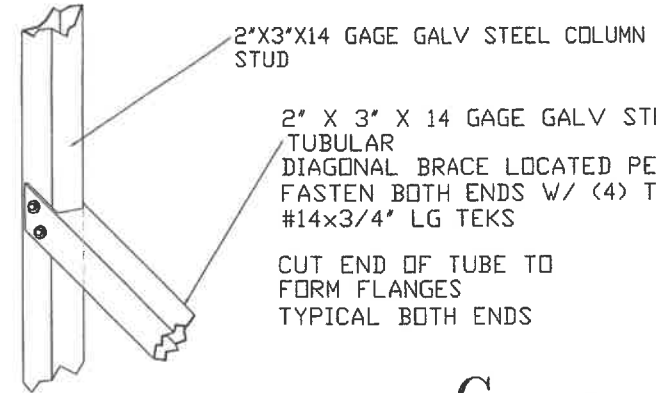
D.W.SMITH, M.S., P.E. #35608  
FLORIDA PROFESSIONAL ENGINEER LICENSE NUMBER 33608  
Projects Consulting Engineer  
9909 VALLASTON DRIVE-DADE CITY, FLORIDA 33525  
PHONE/TEXT: 813 469 2289 E-MAIL: dws@smithlink.net

23' x 45' x 10' EVE OPEN COVER	JOB NO. 25T042
SCALE DO NOT SCALE	DATE 10-14-2025
DRAWN D.W.SMITH	SHEET OF 5 OF 6

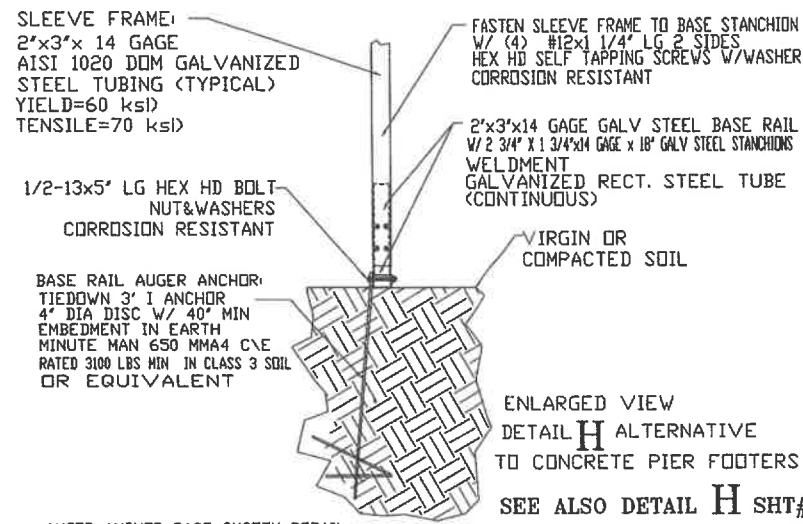
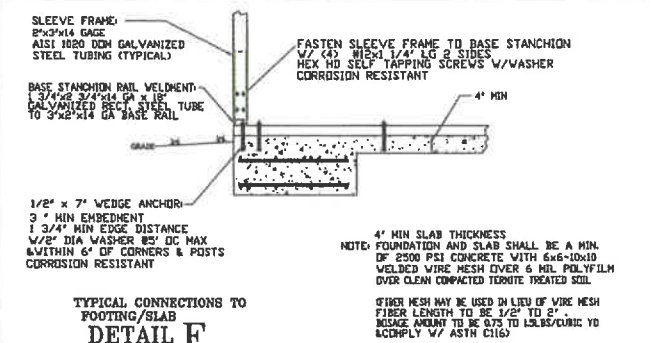
26 GAGE R-PANEL OR RBR FASTENER SPACING SCHEDULE  
 #12 x 1 1/4' LG TEK SCREWS W/NEOPRENE SEAL&WASHER HD  
 36' COVERAGE



DETAIL C ANGLE CLIP  
 2"x2"x 3"x14 GAGE ANGLE BRKT



DETAIL C<sub>d</sub> DIAGONAL BRACE



AUGER ANCHOR BASE SYSTEM DETAIL FOR MOUNTING ON EARTH RETAINED INTO VIRGIN SOIL

TYPICAL CONNECTIONS TO EARTH

PRODUCT APPROVAL

PRODUCT CATEGORY	SUB CATEGORY	MFR	FL# 12713.8 (ROOF)	FL# 12575.1 (WALL)
ROOFING & WALL SHEATHING	NON-STRUCTURAL METAL ROOFING	ALL STEEL BUILDINGS	FL# 12713.8 (ROOF)	FL# 12575.1 (WALL)
ROOFING & WALL SHEATHING	NON-STRUCTURAL METAL ROOFING	FABRAL 26 GA LAP SIDING	FL# 14083 (WALL)	
EXTERIOR DOORS	ROLL UP DOOR	ASTA DOOR CORPORATION	FL# 8888.5	
EXTERIOR DOORS	ROLL UP DOOR	AMERICAN ROLL UP DOOR	FL# 16805	
EXTERIOR DOORS	ROLL UP DOOR	JANIS	FL# 14425-R5	
EXTERIOR DOORS	SWINGING PERSON DOOR	TELL HFRG, INC.	FL# 17900.1	
STRUCTURAL COMPONENTS	ROOF DECK (SKY LIGHT)	GLASTEEL	FL# 15531.1	
STRUCTURAL COMPONENTS	SIDING WALL LIGHT	GLASTEEL	FL# 5614.1	
STRUCTURAL COMPONENTS	HYDROSTATIC VENT (10 SQ INCHES NET)	FLOOD SOLUTIONS FS1608	FL# 1588-R25614.1	
STRUCTURAL COMPONENTS	WINDOW	EASTERN ARCHITECTURAL SYSTEMS	FL# 14604.7	

MIAMI DADE NOA

PRODUCT CATEGORY	SUB CATEGORY	MFR	MIAMI/DADE NOA
ROOFING & WALL SHEATHING	NON-STRUCTURAL METAL ROOFING	ALL STEEL BUILDINGS/NCI GROUP,INC.	

Digitally signed by DAVID W Smith  
 Date: 2025.10.17 09:47:59 -04'00'

*David W Smith*  
 10-17-2025

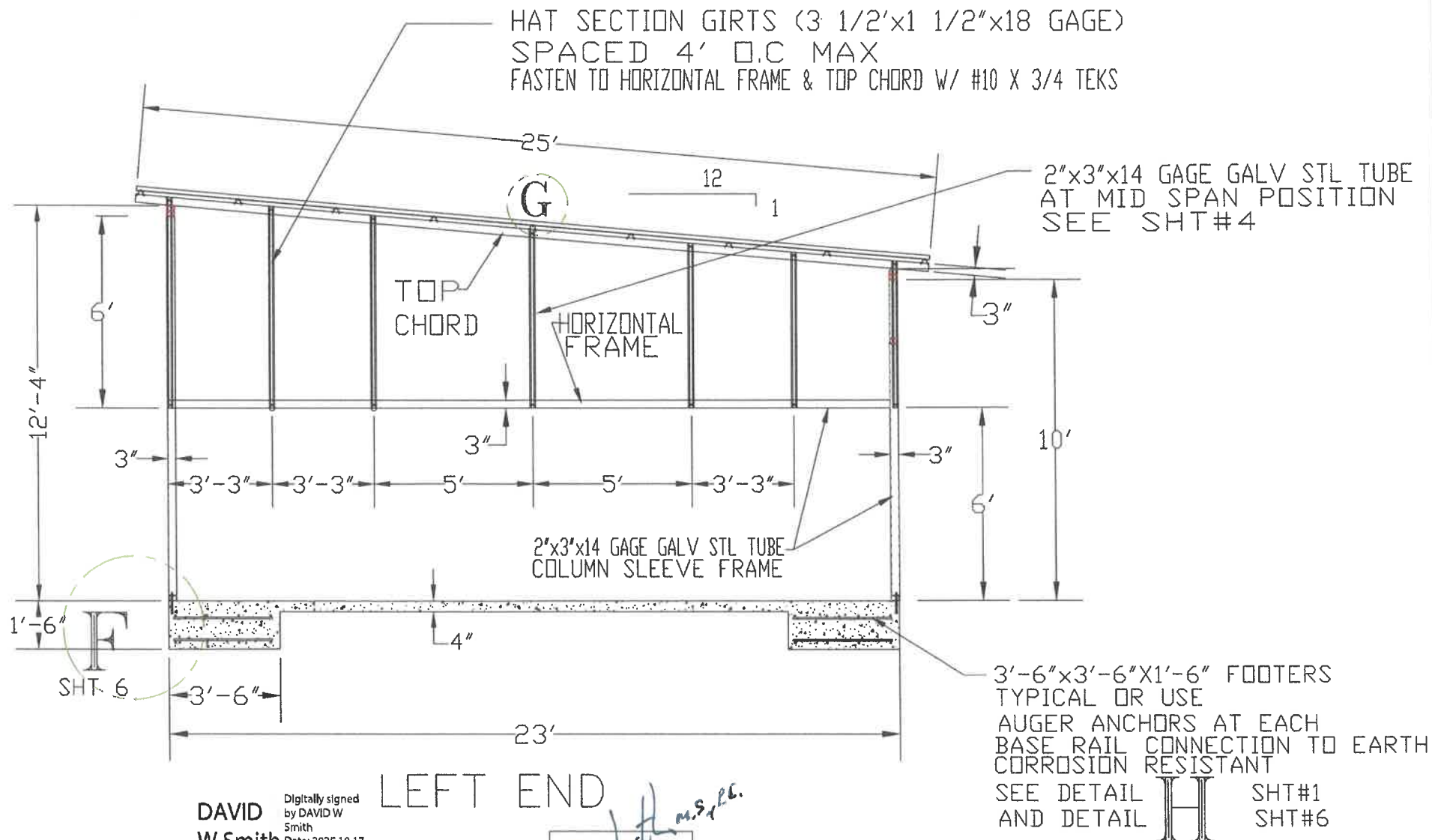
I hereby certify that I have performed and reviewed this plan and found it to be in compliance with ASCE 7 -22 and the FLORIDA BUILDING CODE, 2023 8TH edition

David W. Smith, M.S., P.E. #53608

ALL STEEL BUILDINGS & COMPONENTS  
 TUBULAR DIVISION  
 10159 US HIGHWAY 41 SOUTH GIBSONTON, FLORIDA 33534  
 813-671-8044 800-331-8341 FAX: 813-671-8802

D.W.SMITH, M.S., P.E. #35608  
 FLORIDA PROFESSIONAL ENGINEER LICENSE NUMBER 35608  
 Projects Consulting Engineer  
 9909 VALLASTON DRIVE-DADE CITY, FLORIDA 33525  
 PHONE/TEXT: 813 463 2289 E-MAIL: dws@dwsmithinc.net  
 SKYLARK BUILDERS  
 2355 HALL BLVD. S.W. #100  
 ZEPHYRHILLS, FLORIDA 33552

23' x 45' x 10' EVE OPEN COVER  
 SCALE DO NOT SCALE  
 DATE 10-18-2025  
 SHEET 6 OF 6  
 DRAWN D.W.SMITH



LEFT END

DAVID W Smith  
 Digitally signed by DAVID W Smith  
 Date: 2025.10.17 09:47:00 -04'00'

I hereby certify that I have performed and reviewed this plan and found it to be in compliance with ASCE 7 -22 and the FLORIDA BUILDING CODE, 2023 8TH edition

David W. Smith, M.S., P.E. #53608

*David W. Smith M.S., P.E.*  
 10-17-2025

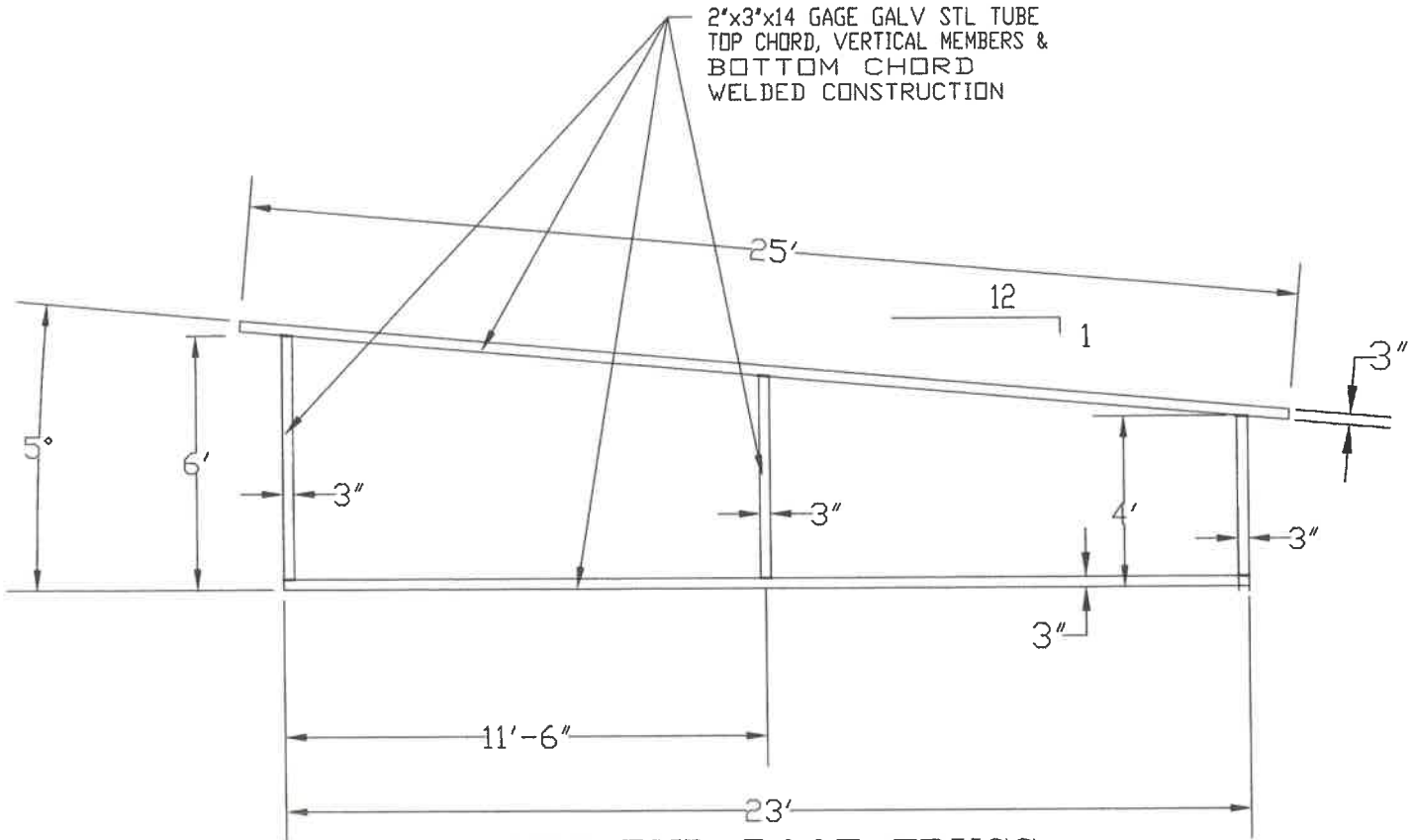


**TUBULAR DIVISION**  
 10159 US HIGHWAY 41 SOUTH  
 GIBBSGTON, FLORIDA 33534  
 813-671-8044  
 800-331-8341  
 FAX: 813-671-8602

**D.W. SMITH, M.S., P.E. #35608**  
 FLORIDA PROFESSIONAL ENGINEER LICENSE NUMBER 35608  
**Projects Consulting Engineer**  
 9909 WALLASTON DRIVE-DADE CITY, FLORIDA 33525  
 PHONE/TEXT: 813 469 2209 -MAIL: dws@dwsmithlink.net

23' x 45' x 10' EVE  
 OPEN COVER  
 SCALE: DO NOT SCALE  
 DATE: 10-14-2025  
 DRAWN: D.W. SMITH

JOB NO. 25T042  
 SHEET OF 3 OF 6



2"x3"x14 GAGE GALV STL TUBE  
TOP CHORD, VERTICAL MEMBERS &  
BOTTOM CHORD  
WELDED CONSTRUCTION

**LEFT END ROOF TRUSS**  
TYPICAL <1>

**DAVID W Smith**  
Digitally signed  
by DAVID W Smith  
Date: 2025.10.17  
09:47:20 -04'00'

*David W Smith, M.S., P.E.*  
*10-17-2025*

I hereby certify that I have performed and reviewed this plan and found it to be in compliance with ASCE 7 -22 and the FLORIDA BUILDING CODE, 2023 8TH edition

David W. Smith, M.S., P.E. #53608



**TUBULAR DIVISION**  
20199 US HIGHWAY 41 SOUTH  
GIBSONTOWN, FLORIDA 33534  
813-671-8044  
800-331-8341  
FAX: 813-671-8602

**D.W. SMITH, M.S., P.E. #35608**  
FLORIDA PROFESSIONAL ENGINEER LICENSE NUMBER 53608  
*Projects Consulting Engineer*  
9909 WALLASTON DRIVE - DADE CITY, FLORIDA 33825  
PHONE/TEXT: 813 469 2289 E-MAIL: [dws@floridathink.net](mailto:dws@floridathink.net)  
**SKYLER ROBERTS**  
4336 HALL BOULEVARD  
ZEPHYRHILLS, FLORIDA 33526

23' x 45' x 10' EVE OPEN COVER	SCALE DO NOT SCALE	DATE 10-14-2025	DRAWN D.W. SMITH
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JOB NO. 25T042	SHEET OF 4 OF 6
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# PASCO COUNTY BUSINESS TAX RECEIPT

Issued pursuant and subject to Florida Statutes and Pasco County Ordinances. Issuance does not certify compliance with zoning or other laws. This receipt must be posted conspicuously in place of business.

2026

Expires September 30th



ACCOUNT #:: 109269

SIC CODE: 7216.00

**MIKE FASANO**  
**TAX COLLECTOR**  
**PASCO COUNTY FLORIDA**

TYPE OF BUSINESS  
DRYCLEANING SERVICE

STATE LICENSE # /or COUNTY COMP CARD #

OWNER/QUALIFYING AGENT  
HERNANDEZ E VINCENT

LOCATION ADDRESS:  
4932 GALL BLVD  
ZEPHYRHILLS, FL 33542

1 99 CLEANERS  
E AND V CLEANERS INC  
26652 SHOREGRASS DR  
WESLEY CHAPEL, FL 33544

DATE	RECEIPT	AMOUNT
01/23/2026	25-0-142315	33.75

Dear Business Owner:

Your **2026** Pasco County Business Tax Receipt is printed above. Please detach the receipt and display it in a place that is visible to the public and available for inspection.

The Pasco County Business Tax Receipt is in addition to any other license or certificate that may be required by law and does not signify compliance with zoning, health, or regulatory requirements. The Pasco County Business Tax Receipt is non-regulatory and is not meant to be a certification of the holder's ability to perform the service for which it is registered.

Business Tax Receipts expire September 30th. Annual renewals are mailed in June to the address of record at that time. Please contact our office if there are any changes to your business name, ownership, physical address, or closing of your business.

*Thank you for allowing us to serve you!*

MIKE FASANO  
PASCO COUNTY TAX COLLECTOR

EAST PASCO GOVERNMENT CENTER  
DADE CITY

WEST PASCO GOVERNMENT CENTER  
NEW PORT RICHEY

TAX COLLECTOR BUILDING  
GULF HARBORS

CENTRAL PASCO GOVERNMENT CENTER  
LAND O'LAKES

COMPARK 75 BUSINESS PARK  
WESLEY CHAPEL

CALL CENTER: MONDAY - FRIDAY 8:30 AM - 5:00 PM (352) 521-4338 • (727) 847-8032 • (813) 235-6076

**Mike Fasano**  
**Pasco County Tax Collector**  
*"Thank You for allowing us to serve you."*

**2025 Paid Real Estate**

**NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS**

Parcel / Account Number	Escrow	Tax District
14-26-21-0010-00800-0120		ZH

Pay your current taxes online at [www.pascotaxes.com](http://www.pascotaxes.com)

HERNANDEZ VINCENT & EMINA  
 26652 SHOREGRASS DR  
 WESLEY CHAPEL, FL 33544-7728

Scan to Pay



4932 GALL BOULEVARD

MOORES FIRST ADDITION PB 1 PG 57 LOTS  
 12 & 13 BLOCK 8 OR  
 See Additional Legal on Tax Roll

**Paid 11/25/2025**

**Receipt # 26-0-050078**

**\$4,023.99 Paid By Vincent Hernandez**

Taxing Authority	Ad Valorem Taxes		Assessed Value	Exemption	Taxable Value	Taxes Levied
	Telephone	Millage				
COUNTY COMMISSION - OPERATING	727-847-8980	7.4042	143,710	0	143,710	1,064.06
SCHOOL OPERATING STATE LAW	727-774-2268	3.0260	292,728	0	292,728	885.79
SCHOOL - CAPITAL OUTLAY	727-774-2268	1.5000	292,728	0	292,728	439.09
VOTER APPROVED - SCHOOL - ADDITIONAL OPERATING	727-774-2268	1.0000	292,728	0	292,728	292.73
SCHOOL - LOCAL DISCRETIONARY	727-774-2268	0.7480	292,728	0	292,728	218.96
COUNTY MUNICIPAL SERVICE FIRE DIST	727-847-8980	2.1225	143,710	0	143,710	305.02
CITY OF ZEPHYRHILLS	813-780-0000	6.2500	143,710	0	143,710	898.19
SW FLA WATER MANAGEMENT DISTRICT	800-423-1476	0.1831	143,710	0	143,710	26.31
PASCO COUNTY MOSQUITO CONTROL	727-376-4568	0.2091	143,710	0	143,710	30.05
VOTER APPROVED - COUNTY FIRE RESCUE BOND 2019	727-847-8980	0.0182	143,710	0	143,710	2.62
VOTER APPROVED - COUNTY FIRE RESCUE BOND 2020	727-847-8980	0.0364	143,710	0	143,710	5.23
VOTER APPROVED - COUNTY FIRE RESCUE BOND 2024	727-847-8980	0.0100	143,710	0	143,710	1.44
VOTER APPROVED - COUNTY JAIL BOND 2019	727-847-8980	0.0229	143,710	0	143,710	3.29
VOTER APPROVED - COUNTY JAIL BOND 2021	727-847-8980	0.0953	143,710	0	143,710	13.70
VOTER APPROVED - COUNTY PARKS & REC BOND 2019	727-847-8980	0.0086	143,710	0	143,710	1.24
VOTER APPROVED - COUNTY PARKS & REC BOND 2022	727-847-8980	0.0116	143,710	0	143,710	1.67
VOTER APPROVED - COUNTY LIBRARIES BOND 2019	727-847-8980	0.0081	143,710	0	143,710	1.16
VOTER APPROVED - COUNTY LIBRARIES BOND 2021	727-847-8980	0.0077	143,710	0	143,710	1.11
<b>Total Millage</b>		22.6617	<b>Total Ad Valorem Taxes</b>		\$4,191.66	

Levying Authority	Non-Ad Valorem Taxes		Amount
	Telephone		
<b>Total Non-Ad Valorem Taxes</b>			\$0.00
<b>Total Combined Taxes &amp; Assessments</b>			\$4,191.66
If Paid By	Nov 30, 2025		
Please Pay	\$0.00		

**Your check is your receipt, or you may visit our website, [www.pascotaxes.com](http://www.pascotaxes.com) to print a receipt.**

◆PLEASE DETACH AND RETURN BOTTOM STUB WITH PAYMENT◆

**Mike Fasano**  
**Pasco County Tax Collector**  
*"Thank You for allowing us to serve you."*

**2025 Paid Real Estate**

**NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS**

Parcel / Account Number	Escrow	Tax District
14-26-21-0010-00800-0120		ZH

Pay your current taxes online at [www.pascotaxes.com](http://www.pascotaxes.com)

If Paid By	Nov 30, 2025				
Please Pay	\$0.00				

**PLEASE PAY IN U.S. FUNDS (U.S. BANK) TO: MIKE FASANO, PASCO COUNTY TAX COLLECTOR, PO BOX 276, DADE CITY, FL 33526-0276**

4932 GALL BOULEVARD

HERNANDEZ VINCENT & EMINA  
 26652 SHOREGRASS DR  
 WESLEY CHAPEL, FL 33544-7728

MOORES FIRST ADDITION PB 1 PG 57 LOTS  
 12 & 13 BLOCK 8 OR  
 See Additional Legal on Tax Roll

**Classification**

01100-Stores

**Mailing Address**

HERNANDEZ VINCENT & EMINA  
26652 SHOREGRASS DR  
WESLEY CHAPEL, FL 33544-7728

**Property Value**

The property values shown are for the 2026 tax year and a work in progress. They are subject to change until the tax roll is certified.

<b>Just Value</b>	<b>\$283,692</b>
Ag Land	\$0
Land	\$96,600
Building	\$184,849
Extra Features	\$2,243

**Physical Address**

4932 GALL BOULEVARD, ZEPHYRHILLS, FL 33542

**Legal Description (First 200 characters)**

[See Plat for this Subdivision](#)

MOORES FIRST ADDITION PB 1 PG 57 LOTS 12 & 13

BLOCK 8 OR 9495 PG 3470

**Jurisdiction**

[CITY OF ZEPHYRHILLS](#)

**Community Dev District**

N/A

**Community Redevelopment Area**

Zephyrhills 2012

	<b>Non-School</b>	<b>School</b>
Assessed	\$158,080	\$283,692
Homestead Exemption	-\$0	-\$0
Additional Exemptions	-\$0	-\$0

**Taxable Value \$158,080 \$283,692**

**Warning: A significant taxable value increase may occur when sold. Click [here](#) for details and info. regarding the posting of exemptions.**

**Land Detail (Card: 1 of 1 )**

Line	Use	Description	Code	Zoning	Units	Type	Price	Condition	Value
1	1100C	Store 1 Floor	M301T-1	FBC3	12000.000	SF	\$7.75	1.00	\$93,000
2	1100C	Store 1 Floor	M301T-2	FBC3	1200.000	SF	\$3.00	1.00	\$3,600

**Additional Land Information**

Acres	Tax Area	FEMA Code	Subsidence Activity	Neighborhood Code(s)
0.3	<a href="#">ZH</a>	X	None Reported	<a href="#">M301</a>

**Building Information - Use 1100-Retail Stores (One Story) (Card: 1 of 1 )**

<b>Year Built</b>	1956	<b>Stories</b>	1.0
<b>Exterior Wall 1</b>	Concrete or Cinder Block	<b>Exterior Wall 2</b>	None
<b>Roof Structure</b>	Gable or Hip	<b>Roof Cover</b>	Min Roof(Corr. or Sh M)
<b>Interior Wall 1</b>	Masonry or Minimum	<b>Interior Wall 2</b>	Drywall
<b>Flooring 1</b>	Carpet	<b>Flooring 2</b>	Laminate
<b>Fuel</b>	Electric	<b>Heat</b>	Forced Air - Ducted
<b>A/C</b>	Central	<b>Baths</b>	2.0

Line	Code	Description	Sq. Feet	Value
1	FOA01	FINISHED OPEN ALUM PORCH	432	\$5,247
2	AOF01	AVERAGE OFFICE	644	\$39,288
3	SDA01	SERVICE DISPLAY AREA	1,600	\$97,610
4	FST01	FINISHED STORAGE	1,400	\$42,704

**Extra Features (Card: 1 of 1 )**

Line	Code	Description	Year	Units	Value
1	CPAVASP	PAVING ASPHALT	1956	1,000	\$293
2	CCLFENCE	CHAIN LINK FENCE	1979	420	\$189
3	CPAVCON	PAVING CONCRETE	1988	1,456	\$721
4	CPVCFSF	PVC FENCING (SF)	2018	600	\$1,040

**Sales History**

**Previous Owner:**

LEE CHERYL & LEE CHERYL ANN & LEE DAVID FRANCIS

Month/Year	Book/Page	Type	DOR Code	Condition	Amount
2/2017	<a href="#">9495 / 3470</a>	Warranty Deed	<a href="#">01</a>	I	\$105,000
9/2005	<a href="#">6599 / 1570</a>	Warranty Deed		I	\$0
9/2005	<a href="#">6576 / 0540</a>	Warranty Deed		I	\$210,000
4/2005	<a href="#">6336 / 1655</a>	Warranty Deed		I	\$91,300
12/1999	<a href="#">4283 / 0980</a>	Warranty Deed		I	\$115,000
2/1990	<a href="#">1881 / 0561</a>	Warranty Deed		I	\$100,000



# **LINER** **CONSTRUCTION** **OF FLORIDA, INC.**

License # CBC 060225

(813) 949-0428

Fax (813) 949-5447

15941 N. FLORIDA AVE. LUTZ, FLORIDA 33549  
liner.construction1@verizon.net

*Estimate*

VINCE HERNANDEZ

7-16-25

RE: 4932 GALL BLVD

ZEPHYRHILLS

ALUNIMUM CANOPY TIED TO EXISTING STRUCTURE

DEMO EXISTING STRUCTURE ON SIDE OF BUILDING, HAUL DEBRIS AND PAY DUMP FEES.

PROVIDE MATERIALS AND LABOR TO INSTALL A 23' X 45' COVER ATTACHED TO STRUCTURE.

INCLUDES 3" ALUMINUM RISER PANS 2 ROWS OF 2 X 8 BEAMS OR GREATER.

PROVIDE 4X 4 STRUCTURAL POSTS WITH 2X8 BEAMS ATTACHED BETWEEN BLOCK WALLS AT THE ROOL DOWN DOOR AREA.

INCLUDES 23' X 5' DROP DOWN PAN WALL ON LEFT SIDE OF COVER STARTING HEIGHT TO BE 13'

INCLUDES GUTTERS AND DOWNSPOUTS

INCLUDES ALL NECESSARY BRACING, PERMITTING AND ENGINEERING

PRICE \$ 51,000

# Contract

Page No.

of

Pages

**SUN STATE ALUMINUM, INC.**  
 6154 Fort King Rd.  
 ZEPHYRHILLS, FL 33542  
**(813) 788-7308**

SUBMITTED TO <i>Direct Aluminum</i>		PHONE <i>813 60 7181</i>	DATE <i>July 10/05</i>
STREET <i>4932 GDU RD</i>		JOB NAME	
CITY, STATE and ZIP CODE <i>Zephyrhills FL</i>		JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

*Remove old structure to accommodate  
 NEW 23x45 ALUMINUM COVER*

*TOP 10 SOIL  
 USE 2x6 BEAMS  
 3x3 POST  
 come down 10 5'*

**We Contract** hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

Payment to be made as follows: \_\_\_\_\_ dollars (\$ *32,000* )

All unpaid balances subject to 1.5% monthly interest fee.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature \_\_\_\_\_

Note: This proposal may be withdrawn by us if not accepted within \_\_\_\_\_ days.

**Acceptance of Contract** — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: \_\_\_\_\_ Signature \_\_\_\_\_

Invoice 282 due from Saint Pauls Roofing & Construction - \$7,500.00

From: Saint Pauls Roofing & Construction (notifications@housecallpro.com)

To: Vhernan3@yahoo.com

Date: Monday, September 22, 2025 at 10:54 PM EDT



call w/ questions  
813-610-7181  
Vhernan3@yahoo.com

### You have a deposit due from Saint Pauls Roofing & Construction

Pay as low as \$241.65/mo\*

Complete a short application to buy now and pay over time.

APPLY NOW

Hi Vincent,

Thank you for choosing Saint Pauls Roofing & Construction. Please see attached invoice due 2025-08-23.

**Invoice Number:** #282  
**Customer Name:** Vincent Hernandez  
**Service Address:** 4932 Gall Blvd, Zephyrhills, FL 33542

Services	amount
Metal Outdoor Structure	\$27,000.00
<ul style="list-style-type: none"> <li>-Install new metal outdoor structure</li> <li>-Install Metal panels and use steel framing.</li> <li>-Installation to follow plans</li> <li>-Price includes plans, permitting, dumpster</li> <li>-Structure to be tied into existing building</li> <li>-Install end gutter on the structure</li> </ul>	
Pay Schedule	\$0.00
<ul style="list-style-type: none"> <li>-30% deposit</li> <li>-30% once permit is pulled and materials are onsite</li> <li>-30% once completed</li> <li>10% once final inspection passes</li> </ul>	
Subtotal	\$27,000.00
Sales Tax	\$0.00
<b>Total job price</b>	<b>\$27,000.00</b>
<b>Deposit Due</b>	<b>\$7,500.00</b>

Pay

View all past invoices in your Customer Portal

Thank You for Your Business!

We sincerely appreciate the opportunity to serve you. At Saint Pauls Roofing & Construction, we take pride in delivering quality workmanship and reliable service.

Payment Terms:

#### Force Majeure Clause

Saint Pauls Roofing & Construction shall not be held liable for any delays, damages, or failure to perform due to causes beyond its reasonable control, including but not limited to acts of God, natural disasters, extreme weather, labor strikes, material shortages, pandemics, war, government restrictions, civil unrest, or any other unforeseen circumstances that prevent timely completion of the project.

In the event of such delays, the project timeline will be adjusted accordingly, and Saint Pauls Roofing & Construction will not be responsible for any resulting costs or damages to the client.

#### Strike Clause

Should there be a strike, labor dispute, or work stoppage involving suppliers, subcontractors, or material providers that affects the availability of labor or materials necessary to complete the project, Saint Pauls Roofing & Construction reserves the right to extend project timelines without liability for damages or penalties.

Any additional costs incurred due to such delays (including rescheduling fees, temporary repairs, or securing alternative materials) shall be the responsibility of the client, and a formal change order may be issued to adjust the contract price accordingly.

#### Material Delay Clause

If materials required for the project become unavailable, experience supplier backorders, or increase significantly in price due to market fluctuations, shortages, or supply chain disruptions, Saint Pauls Roofing & Construction reserves the right to:

1. Delay the project until the materials become available, without liability for damages.
2. Substitute equivalent materials at the current market price, subject to client approval.
3. Issue a change order to reflect any increased costs or timeline extensions caused by such material delays.

The client acknowledges that material costs fluctuate, and Saint Pauls Roofing & Construction is not responsible for delays caused by manufacturer backorders, supplier shortages, or industry-wide price increases.

#### Exclusions

- Hazardous Materials – Our work does not include hazardous material detection or removal (e.g., asbestos, mold).

#### Liability Disclaimer

- Pre-existing Conditions – We are not responsible for pre-existing structural integrity issues or any damages arising from such conditions.
- Third-Party Work – We are not responsible for material or workmanship from other contractors whose work supersedes or follows ours.
- Structural Issues – If pre-existing conditions affect our work, any warranty may be voided.
- Industry Standards Compliance – Any work will adhere to standard practices and codes as of the proposal date.
- Code Changes – If building codes change after proposal acceptance, adjustments will require a change order.

#### Additional Provisions

- Uplift Pressure Compliance – No warranty, either expressed or implied, is given regarding compliance with designed uplift pressure unless such pressure is specifically indicated on plans provided at the time of contract submission.
- Unspecified Architectural Details – Any details not specified by an architect will be completed per manufacturer's standard details or Florida Building Code requirements.
- Proposal Validity – This proposal may be withdrawn if not accepted within 30 days of the issue date.
- Workmanship & Material Guarantee – All materials will be as specified or equivalent, in accordance with manufacturer's specifications.
- Change Orders & Payment Obligations – If a customer requests work that requires a change order but refuses to pay later, Saint Pauls Roofing & Construction retains the right to seek fair compensation for work completed.
- Draw Schedule – For projects exceeding \$7,000, payments will follow a defined draw schedule. If a client fails to meet payment milestones, work may be suspended.

#### Dispute Resolution

- Interest on Late Payments – Any overdue balances will accrue interest at 5% per month.
- Legal Costs for Disputes – In the event of a dispute, the prevailing party is entitled to reasonable attorneys' fees and court costs in all administrative procedures, litigation, or arbitration.
- Warranty & Payment Conditions – Full payment is required for any warranty to remain valid.

#### Lien Releases

- Legal Compliance – Lien releases will be provided in accordance with Florida Statutes (713.20) once full payment is received.

#### Property Protection Disclaimer

- Precautions Taken – We take all reasonable precautions to protect finished surfaces.
- Owner's Responsibility – Certain items, including but not limited to pool decks, walkways, outdoor furniture, vehicles, landscaping, sprinklers, and interior