



SITE PLAN REVIEW COMMITTEE MEETING ZEPHYRHILLS, FLORIDA

**Tuesday, October 18, 2022
9:30 AM**

**Zephyrhills
City Hall**

**Council
Chambers**

Call to Order –

1. BUSINESS ITEMS

1.1 USE-0009-22_RCE Investment Recreational Vehicle Storage

Conditional Use request submitted by RCE Investment for recreational vehicle storage on +/-2.52 acres generally located on the east side of Trump Place, north of Correia Drive in the Park Place Industrial Park.

Parcel/Tax ID No. 19-26-22-0010-00000-0090

1. Parcel Map 20220705 (1)

2. Conceptual Site Plan - RV Storage 20220812 (1)

1.2 SPR-0035-21_Park Place Boat & RV Storage

Site Development Plans submitted by Park Place Boat & RV Storage, LLC for a +/- 83,600 square foot recreational vehicle storage facility at 3971 and 4001 Trump Place.

Parcel/Tax ID Nos.: 19-26-22-0010-00000-0120 and 19-26-22-0010-00000-0110

1. SPR-0035-21_Civil Set

1.3 SUB 28-22 Market at Zephyrhills Final Plat Review of the Final Plat for Market at Zephyrhills, a commercial development at the corner of Gall Blvd and Pretty Pond Road.

34-25-21-0010-05000-0010, 34-25-21-0010-04900-0000, and 34-25-21-0010-06400-0000.

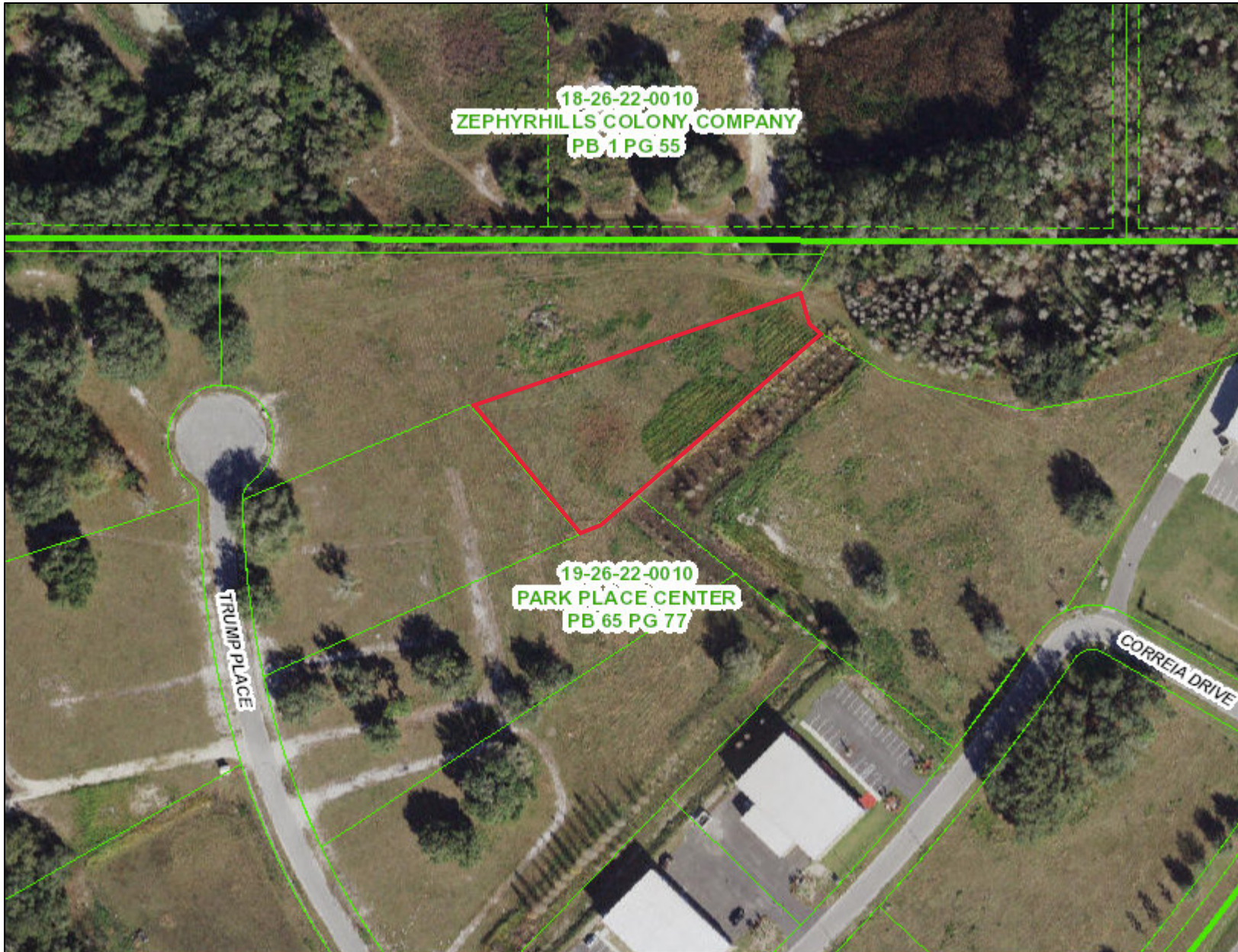
PLEASE NOTE THE NECESSARY EASEMENTS ARE IN PROCESS - THIS PROJECT WILL NOT ADVANCE TO CITY COUNCIL FINAL APPROVAL UNTIL A

*SATISFACTORY SUBMISSION AND REVIEW BY SOR AND CITY ATTORNEY OF
THE PLAT AND ALL LEGAL DOCUMENTS.*

1. Market at Zephyrhills -PLATMAS 8-12-22

ADJOURN

*** PLEASE NOTE: This is a Public Meeting. Should any interested party seek to appeal any decisionmade by the Council with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S. 286.0105. If you are a person with a disability which requires reasonable accommodation in order to participate in this meeting, please contact the City Clerk at 813/780-0000 at least 48 hours prior to the public hearing. A.D.A. and F.S. 286.26.**



Legend

- Street (Labels)
- Parcel (Lines)
- Subdivision (Boundaries and Labels)
- Parcels (Clickable Info)
- Blocks (Boundaries and Labels)
- Lot (Lines)



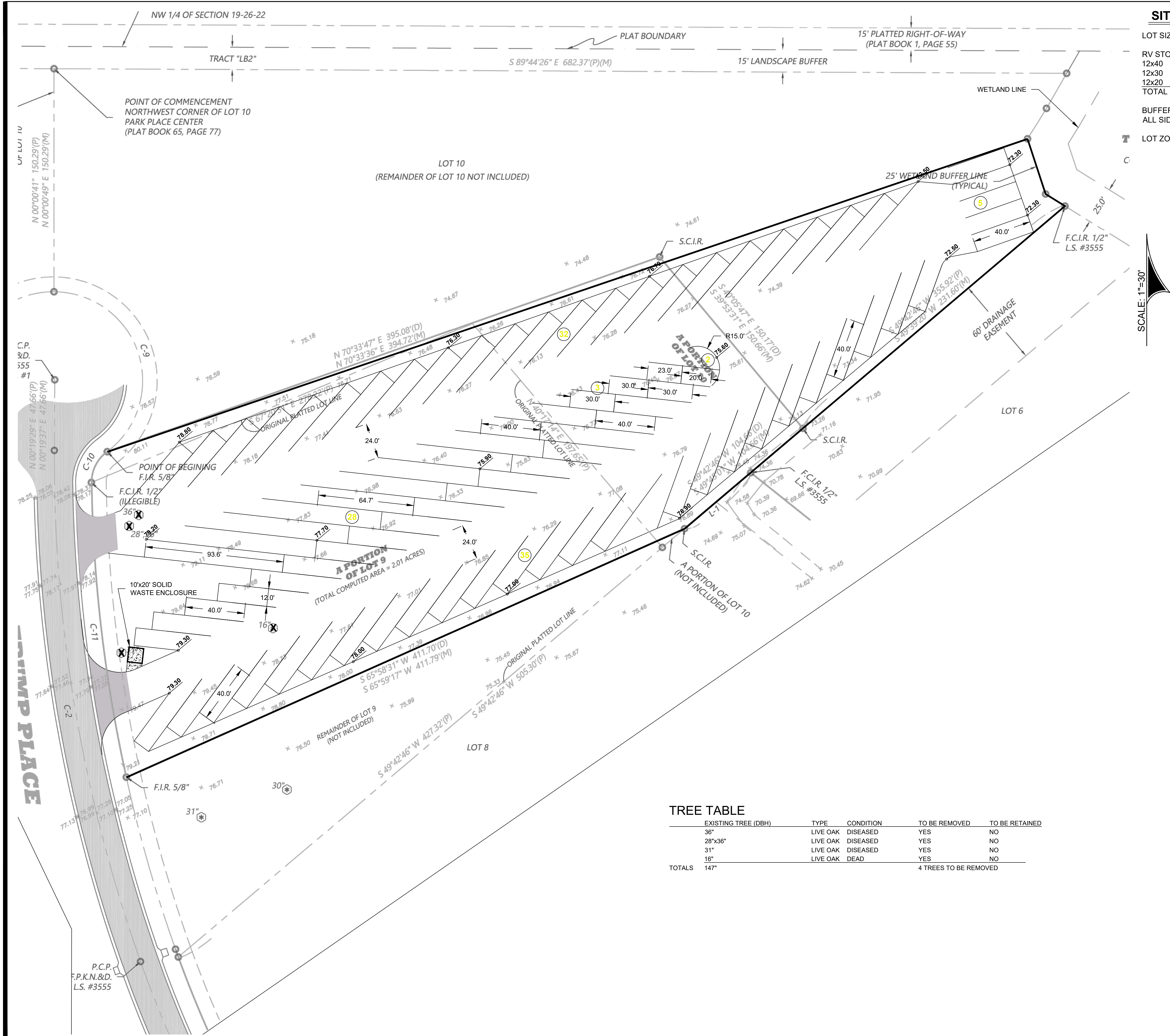
Mike Wells
Property Appraiser
Proudly Serving Pasco County, Florida

3980 Trump Place

0 0.0175 0.035 0.07 mi



7/5/2022, 1:11:06 PM



SITE DATA	
LOT SIZE	2.58 AC
RV STORAGE	
12x40	100
12x30	3
12x20	2
TOTAL STORAGE SPACES	105
BUFFERS	
ALL SIDES	10'
LOT ZONING	IL

TREE TABLE				
EXISTING TREE (DBH)	TYPE	CONDITION	TO BE REMOVED	TO BE RETAINED
36"	LIVE OAK	DISEASED	YES	NO
28"x36"	LIVE OAK	DISEASED	YES	NO
31"	LIVE OAK	DISEASED	YES	NO
16"	LIVE OAK	DEAD	YES	NO
TOTALS	147"		4 TREES TO BE REMOVED	

GRADING PLAN

RV STORAGE

BE→U

PROJECT: 10017122.00
DATE: 06/10/2022

Revision	
No.	Description

Proposed Retail Development

TRUMP PLACE
ZEPHYRHILLS, FLORIDA

BLACKSTOCK ENGINEERING UNLIMITED, INC.

1646 W Snow Ave, Suite 174
Tampa, FL 33606
727.220.9440
www.BlackstockENG.com
Certificate of Auth. 32307

STAFF REPORT

To:

From:

RE: **SPR-0035-21_Park Place Boat & RV Storage**
 Site Development Plans submitted by Park Place Boat & RV Storage, LLC for a +/-83,600
 square foot recreational vehicle storage facility at 3971 and 4001 Trump Place.
 Parcel/Tax ID Nos.: 19-26-22-0010-00000-0120 and 19-26-22-0010-00000-0110

Date: **October 18, 2022**

I. BACKGROUND & INFORMATION

II. DATA & ANALYSIS

III. RECOMMENDATION

PARK PLACE BOAT & RV STORAGE

3971,4001 TRUMP PLACE, ZEPHYRHILLS, FL 33542

SITE DATA TABLE

FLOOD_ZONE: FLOOD_ZONE "X","AE","A" ACCORDING TO F.I.R.M. COMMUNITY PANEL 12101C0268F, DATED 9/26/2014.

PROJECT SUMMARY & SITE DATA:	EXISTING	PROPOSED
TOTAL BUILDING AREA	0 SF (0%)	83,600 SF (26%)
TOTAL GROSS FLOOR AREA	0 SF (0%)	83,600 SF (26%)
TOTAL ASPHALT/CONC AREA	0 SF (0%)	120,835 SF (37%)
TOTAL IMPERVIOUS AREA	0 SF (0%)	204,435 SF (63%)
TOTAL GREEN AREA	322,890 (100%)	118,455 SF (37%)
TOTAL SITE AREA	322,890 SF/7.41 AC.	

ZONING: LI LAND_USE: INDUSTRIAL PRESENT_USE: VACANT INDUSTRIAL PROPOSED_USE: MANUFACTURING W/OFFICE

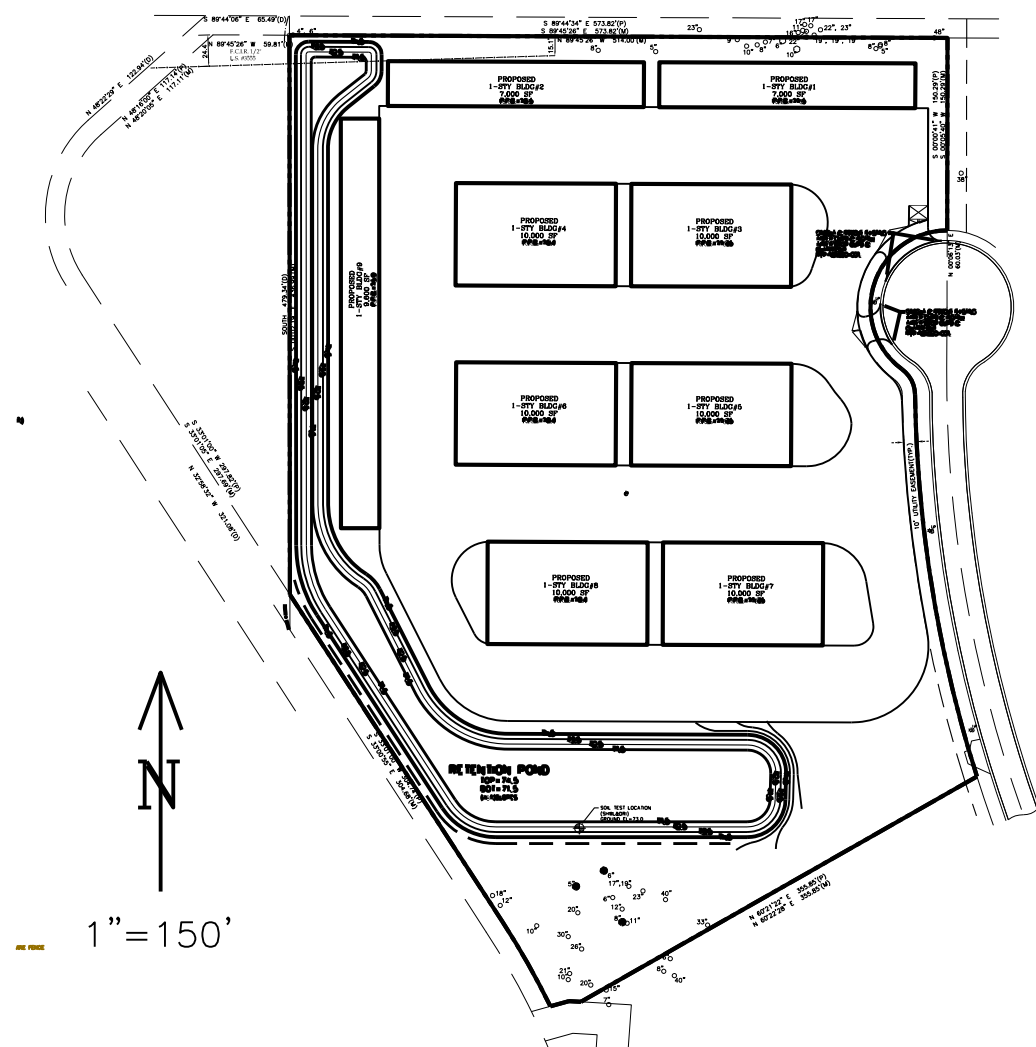
LOT REQUIREMENTS:	REQUIRED	PROPOSED
LOT AREA	NONE	322,890 SF
LOT WIDTH	75 FT	514 FT
LOT DEPTH	100 FT	740 FT

SETBACK REQUIREMENTS:		
FRONT(TRUMP PLACE)	50 FT	63 FT
SIDE(NORTH)	50 FT	20 FT
SIDE(SOUTHWEST)	5 FT	108.2 FT
REAR(WEST)	50 FT	40 FT

MAXIMUM LOT COVERAGE (ISR):	0.85	0.56
MAXIMUM FLOOR/AREA RATIO (FAR):	0.50	0.20
MAXIMUM BUILDING HEIGHT:	30 FT OR 2 STORY	30 FT

NUMBER OF PARKING SPACES:		
OFFICE:		
(1 SP FOR PER 200SF OF GFA)		
3000 SF/200	15 SP	16 SP
(1 SP PER 2 EMPLOYEE ON COMBINED LARGEST & 2ND LARGEST SHIFT)		
16 EMPLOYEE/2 SP	8 SP	8 SP
TOTAL	23 SP	24 SP
NUMBER OF H.C. PARKING SPACES: (1SP-25SP) =	1 SP	1 SP

SEWER_SERVICE_PROVIDER: CITY OF ZEPHYRHILLS UTILITIES
WATER_SERVICE_PROVIDER: CITY OF ZEPHYRHILLS UTILITIES
ELECTRIC_SERVICE_PROVIDER: DUKE ENERGY
FIRE_SERVICE_PROVIDER: CITY OF ZEPHYRHILLS FIRE & RESCUE
SOLID_WASTE: CITY OF ZEPHYRHILLS PUBLIC WORKS



SECTION 19, TOWNSHIP 26S., RANGE 22E.
PARCEL ID#: 19-26-22-0010-00000-0120
PARCEL ID#: 19-26-22-0010-00000-0110

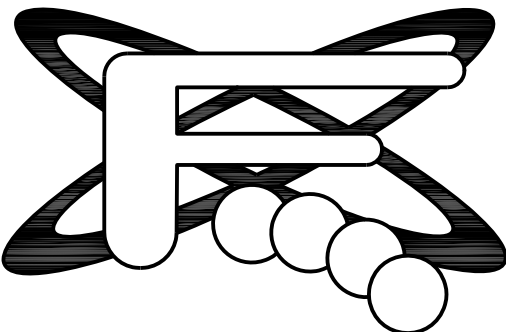
CIVIL CONSTRUCTION PLANS

PARK PLACE BOAT & RV STORAGE

PREPARED BY:

FRONTIER ENGINEERING, INC.

COMMERCIAL · MUNICIPAL · RESIDENTIAL
ST. PETERSBURG · TAMPA



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION

(AS REQUESTED)

LOT 11, PARK PLACE CENTER SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 65, PAGES 77 THROUGH 80 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

LESS THAT PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL OF LAND:

COMMENCE AT THE NORTHWEST CORNER OF TRACT "LB2" FOR THE POINT OF BEGINNING, THENCE RUN S 89°44'06" E, ALONG THE NORTH PLAT BOUNDARY, A DISTANCE OF 65.49 FEET; THENCE RUN SOUTH 479.34 FEET; THENCE RUN N 32°58'32" W, A DISTANCE OF 321.08 FEET TO A CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 100.00 FEET AN ARC DISTANCE OF 141.87 FEET, A CHORD BEARING OF N 07°41'18" E, A CHORD DISTANCE OF 129.79 FEET TO A POINT OF TANGENCY; THENCE RUN N 48°22'29" E, A DISTANCE OF 122.94 FEET T TO THE POINT OF BEGINNING.

TOGETHER WITH:

LOT 12, PARK PLACE CENTER SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 65, PAGES 77 THROUGH 80 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

PROFESSIONAL TEAM

PROPERTY_OWNER: K&L FAMILY INVESTMENTS LLC & MICHAEL P. CORREIA
37545 SKY RIDGE CIR
DADE CITY, FL 33525
PH: (813) 997-0636
Email: sunstatedaluminum@juno.com

CIVIL_ENGINEER: FRONTIER ENGINEERING, INC.
P.O. BOX 4444
TAMPA, FL 33677
PH: (813) 251-0169
FX: (813) 251-0179
Email: frontierengineering@yahoo.com

LANDSCAPE_ARCHITECT: COPLEY DESIGN ASSOCIATES, INC
2230 HUNTING VALLEY LN,
STREETSBORO, OH 44241
PH: (330) 474-7776
Email: copleydesign@gmail.com

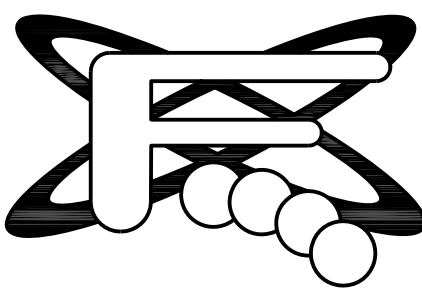
SURVEYOR: CROW & ASSOCIATES, INC.
2004 THONOTOSASSA RD., STE #102
PLANT CITY, FL 33563
PH: (813) 754-0505
Email: crowsurveying@gmail.com



AERIAL MAP
N.T.S.

CIVIL PLAN INDEX:

SHEET#	TITLE
COVER	COVER PAGE
1 OF 7	SITE PLAN
2 OF 7	GRADING & DRAINAGE/C.S.W.M. PLAN
3 OF 7	UTILITY PLAN
4 OF 7	EXISTING CONDITIONS/DEMO PLAN
5 OF 7	NOTES & SPECIFICATIONS
6 OF 7	DETAILS
7 OF 7	NPDES/SWPP PLAN
L1	LANDSCAPE DEVELOPMENT PLAN



P.O.BOX 4444
TAMPA, FL 33677
PH: (813) 251-0169
FAX: (813) 251-0179
frontierengineering@yahoo.com

FRONTIER ENGINEERING, INC.

COMMERCIAL · MUNICIPAL · RESIDENTIAL
ST. PETERSBURG · TAMPA

PARK PLACE BOAT & RV STORAGE
COVER SHEET

TIMOTHY J. HEALEY

FLORIDA ENGINEER'S REGISTRATION NO. 53661

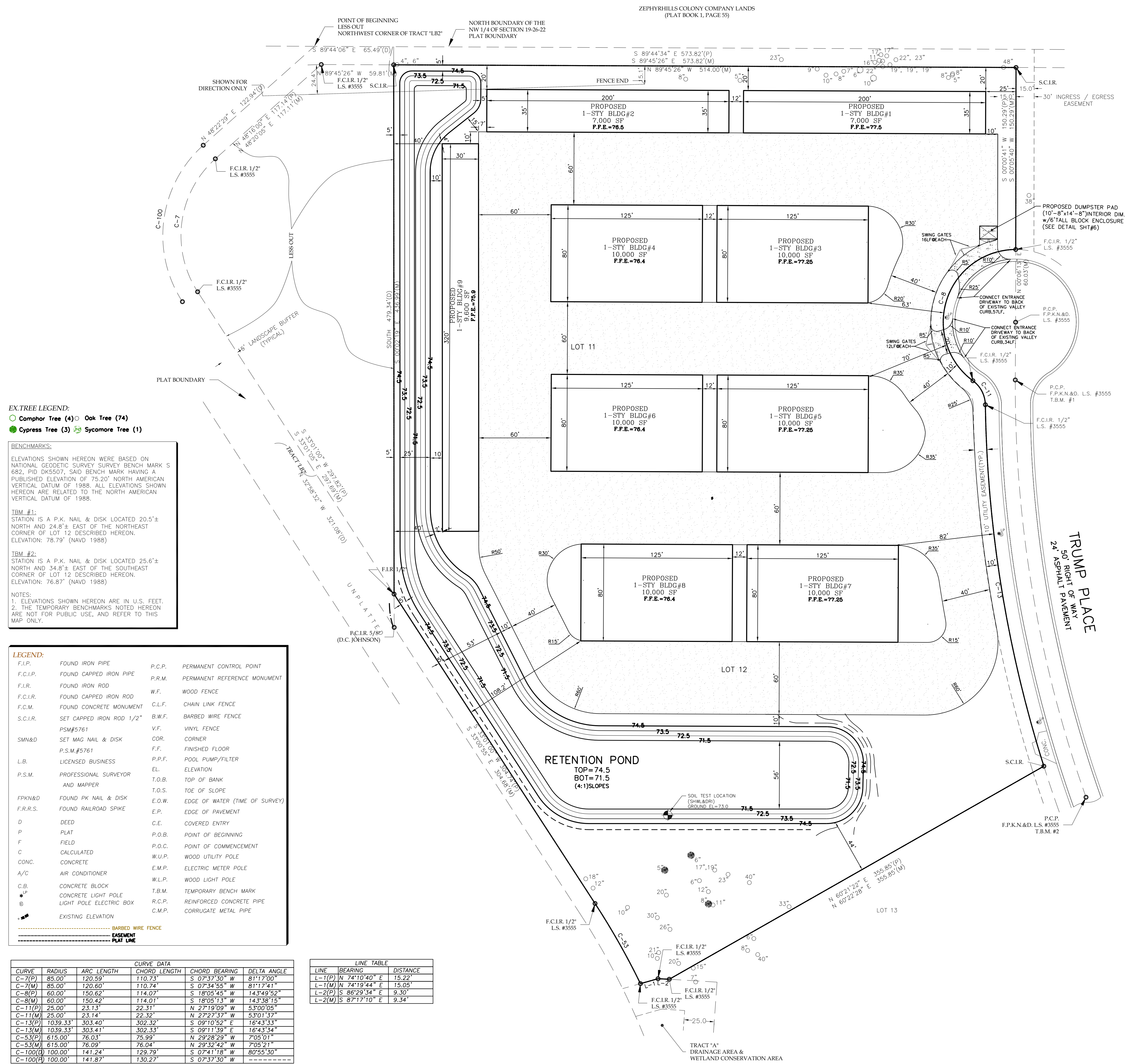
DESIGN: IB

DRAWN: IB

CHECKED: TJH

CITY OF ZEPHYRHILLS, FLORIDA

REV #	DATE	REVISION	BY
9			
8			
7			
6			
5			
4			
3			
2			
1			
DATE: 6/27/22 JOB #: 19-29			
SCALE: 1" = 30'			
SHEET #: COVOF			



EX.TREE LEGEND:

- Camphor Tree (4)
- Oak Tree (74)
- Cypress Tree (3)
- Sycamore Tree (1)

BENCHMARKS:

ELEVATIONS SHOWN HEREON WERE BASED ON NATIONAL GEODETIC SURVEY BENCH MARK S 682, PID DK5507, SAID BENCH MARK HAVING A PUBLISHED ELEVATION OF 75.20' NORTH AMERICAN VERTICAL DATUM OF 1988. ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.

TBM #1:
STATION IS A P.K. NAIL & DISK LOCATED 20.5'± NORTH AND 24.8'± EAST OF THE NORTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 78.79' (NAVD 1988)

TBM #2:
STATION IS A P.K. NAIL & DISK LOCATED 25.6'± NORTH AND 34.8'± EAST OF THE SOUTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 76.87' (NAVD 1988)

NOTES:
1. ELEVATIONS SHOWN HEREON ARE IN U.S. FEET.
2. THE TEMPORARY BENCHMARKS NOTED HEREON ARE NOT FOR PUBLIC USE, AND REFER TO THIS MAP ONLY.

LEGEND:			
F.I.P.	FOUND IRON PIPE	P.C.P.	PERMANENT CONTROL POINT
F.C.I.P.	FOUND CAPPED IRON PIPE	P.R.M.	PERMANENT REFERENCE MONUMENT
F.I.R.	FOUND IRON ROD	W.F.	WOOD FENCE
F.C.I.R.	FOUND CAPPED IRON ROD	C.L.F.	CHAIN LINK FENCE
S.C.M.	FOUND CONCRETE MONUMENT	B.W.F.	BARBED WIRE FENCE
S.C.I.R.	SET CAPPED IRON ROD 1/2"	V.F.	VINYL FENCE
PSM#5761		COR.	CORNER
SMN&D	SET MAG NAIL & DISK	F.F.	FINISHED FLOOR
P.S.M.#5761		P.P.F.	POOL PUMP/FILTER
L.B.	LICENSED BUSINESS	EL.	ELEVATION
P.S.M.	PROFESSIONAL SURVEYOR AND MAPPER	T.O.B.	TOP OF BANK
FPKN&D	FOUND PK NAIL & DISK	T.O.S.	TOE OF SLOPE
F.R.R.S.	FOUND RAILROAD SPIKE	E.O.W.	EDGE OF WATER (TIME OF SURVEY)
D	DEED	E.P.	EDGE OF PAVEMENT
P	PLAT	C.E.	COVERED ENTRY
F	FIELD	P.O.B.	POINT OF BEGINNING
C	CALCULATED	P.O.C.	POINT OF COMMENCEMENT
CONC.	CONCRETE	W.U.P.	WOOD UTILITY POLE
A/C	AIR CONDITIONER	E.M.P.	ELECTRIC METER POLE
C.B.	CONCRETE BLOCK	W.L.P.	WOOD LIGHT POLE
LP	CONCRETE LIGHT POLE	T.B.M.	TEMPORARY BENCH MARK
RE	REINFORCED CONCRETE PIPE	R.C.P.	REINFORCED CONCRETE PIPE
CM	CORRUGATED METAL PIPE	C.M.P.	CORRUGATED METAL PIPE
EXISTING ELEVATION			
BARBED WIRE FENCE			
EASEMENT			
PLAT LINE			

CURVE DATA				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C-7(P)	85.00'	120.59'	110.73'	S 07°37'30" W
C-7(M)	85.00'	120.60'	110.74'	S 07°34'55" W
C-8(P)	60.00'	150.62'	114.07'	S 18°05'45" W
C-8(M)	60.00'	150.42'	114.01'	S 18°05'13" W
C-11(P)	25.00'	23.13'	22.31'	N 27°19'09" W
C-11(M)	25.00'	23.14'	22.32'	N 27°27'37" W
C-13(P)	1039.33'	303.40'	302.32'	S 09°10'52" E
C-13(M)	1039.33'	303.41'	302.33'	S 09°11'39" E
C-53(P)	615.00'	76.03'	75.99'	N 29°28'29" W
C-53(M)	615.00'	76.09'	76.04'	N 29°32'42" W
C-100(D)	100.00'	141.24'	129.79'	S 07°41'18" W
C-100(P)	100.00'	141.87'	130.27'	S 07°37'30" W

LINE TABLE		
LINE	BEARING	DISTANCE
L-1(P)	N 74°10'40" E	15.22'
L-1(M)	N 74°19'44" E	15.05'
L-2(P)	S 86°29'34" E	9.30'
L-2(M)	S 87°17'10" E	9.34'

Call 48 hours before you dig!

IT'S THE LAW!
1-800-432-4770

N

0' 40' 80'

SCALE: 1" = 40'

PROPOSED LEGEND

- DIRECTION OF FLOW
- EXISTING ELEVATION
- PROPOSED ELEVATION
- NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)
- SILT FENCE
- 6" TALL PVC FENCE
- 6" HIGH FDOT FENCE VINYL COATED (BLACK) W/ BARBED WIRE
- CEMENT BAG RIP-RAP PAD
- FILTER SOCK
- NUMBER OF PROPOSED PARKING SPACES
- PROTECTIVE TREE BARRICADE
- REMOVE EXISTING TREE

PAVING LEGEND

- PROPOSED CONCRETE
- PROPOSED COMPACTED GRAVEL

FRONTIER ENGINEERING, INC.
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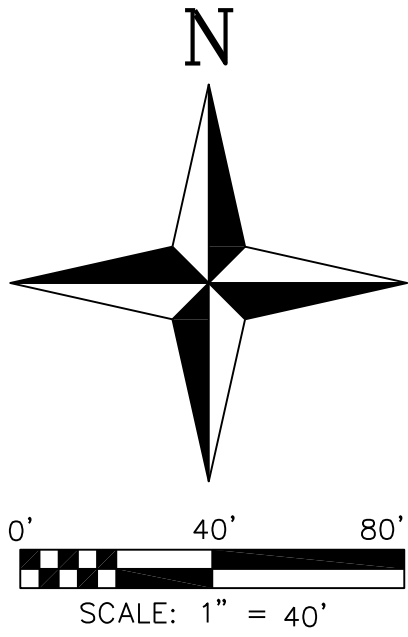
PARK PLACE BOAT & RV STORAGE
SITE PLAN

TIMOTHY J. HEALEY
DESIGN: IB
DRAWN: IB
CHECKED: TJH

FLORIDA ENGINEER'S REGISTRATION NO. 53661

CITY OF ZEPHYRHILLS, FLORIDA

SCALE: 1" = 40'
SHEET #: 1 OF 7



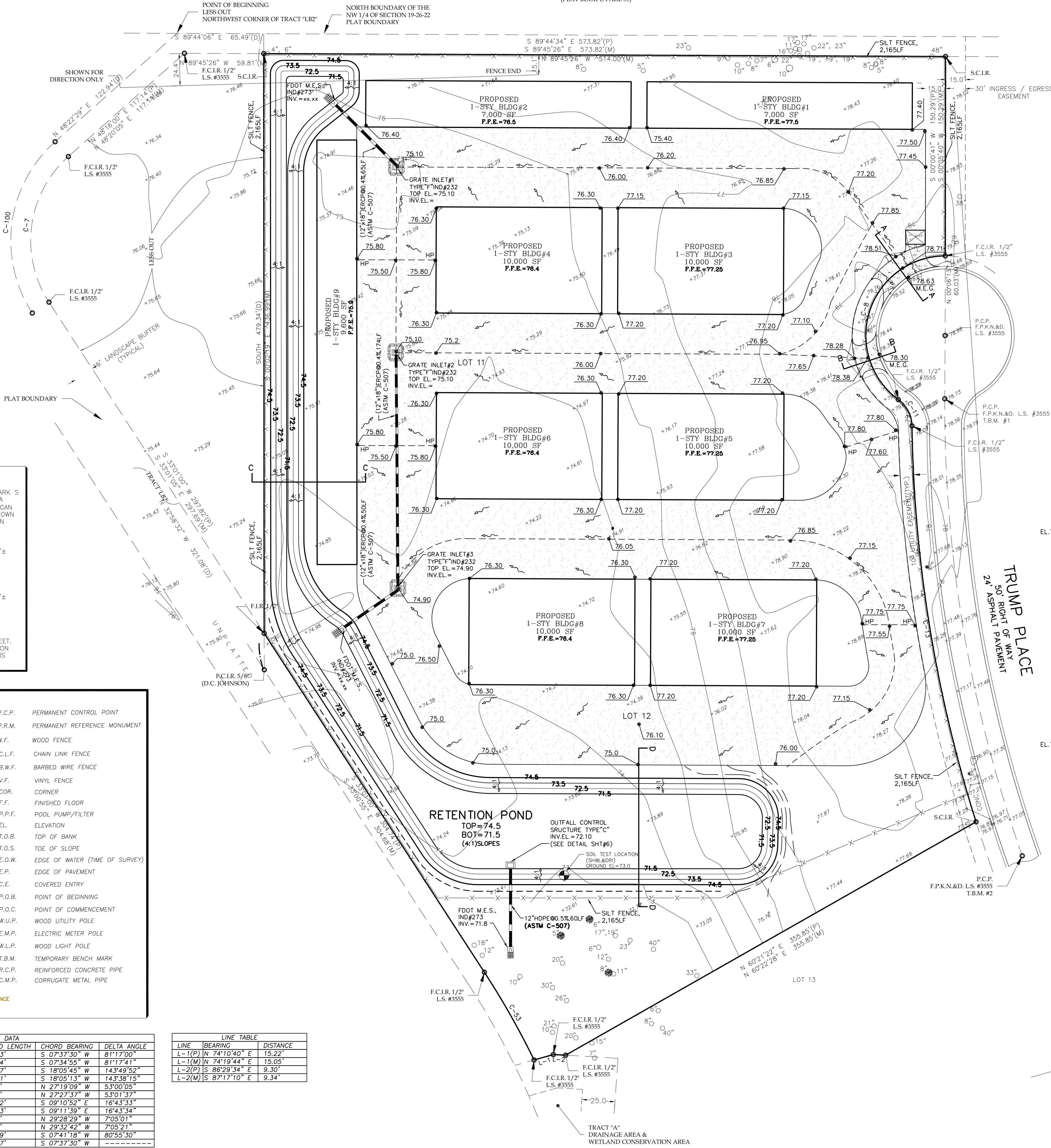
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AND MAPPER		T.O.S.	TOE OF SLOPE
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D	DEED	C.E.	COVERED ENTRY
P	PLAT	P.O.B.	POINT OF BEGINNING
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A/C	AIR CONDITIONER	W.L.P.	WOOD LIGHT POLE
C.B.	CONCRETE BLOCK	T.B.M.	TEMPORARY BENCH MARK
C.L.P.	CONCRETE LIGHT POLE	R.C.P.	REINFORCED CONCRETE PIPE
@	LIGHT POLE ELECTRIC BOX	C.M.P.	CORRUGATE METAL PIPE
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	PLAT LINE		

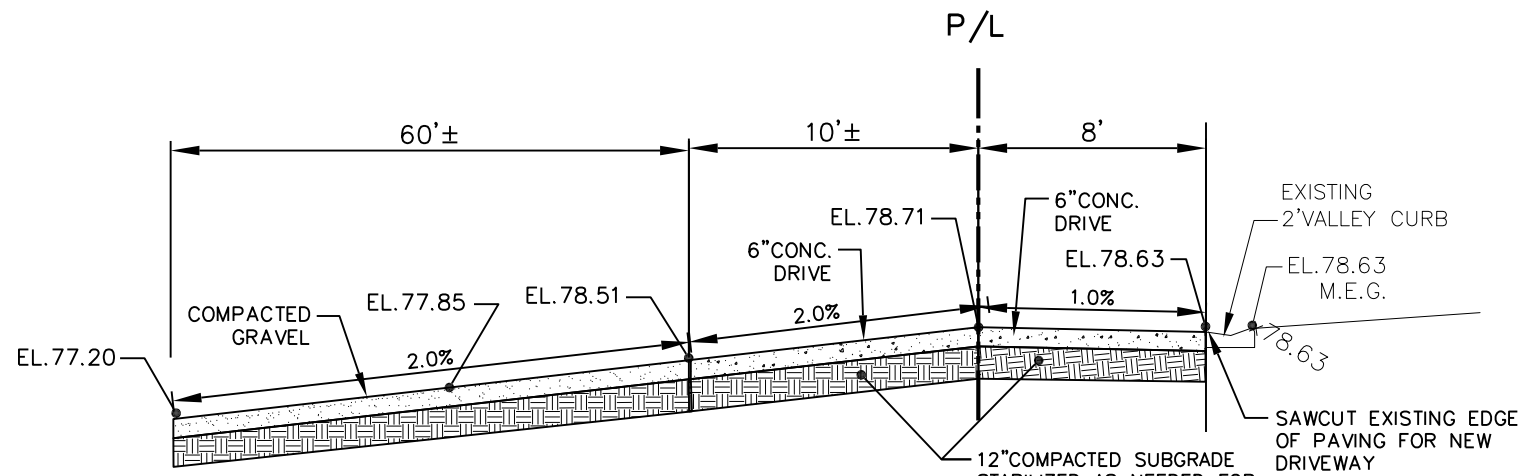
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C-13(M)	1039.33'	303.41'	302.33'	S 09°11'36" E 16°43'34"
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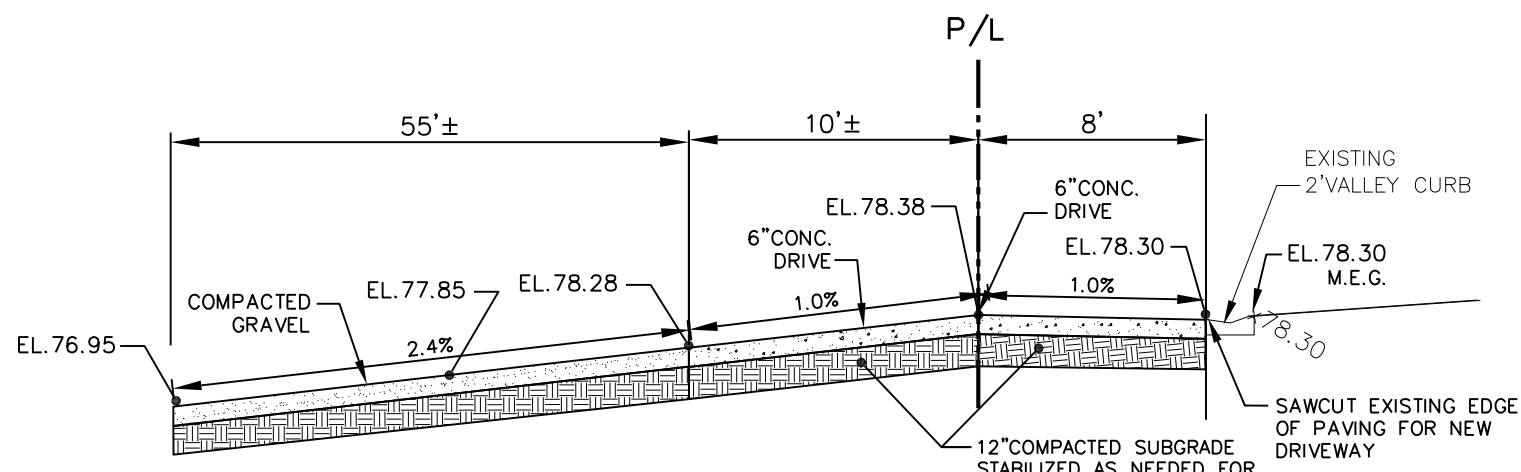
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	SILT FENCE
	6" TALL PVC FENCE
	6" HIGH FDOT FENCE VINYL COATED(BLACK) W/BARBED WIRE
	CEMENT BAG RIP-RAP PAD
	FILTER SOCK
	NUMBER OF PROPOSED PARKING SPACES
	PROTECTIVE TREE BARRICADE
	REMOVE EXISTING TREE

PAVING LEGEND	
	PROPOSED CONCRETE
	PROPOSED COMPACTED GRAVEL



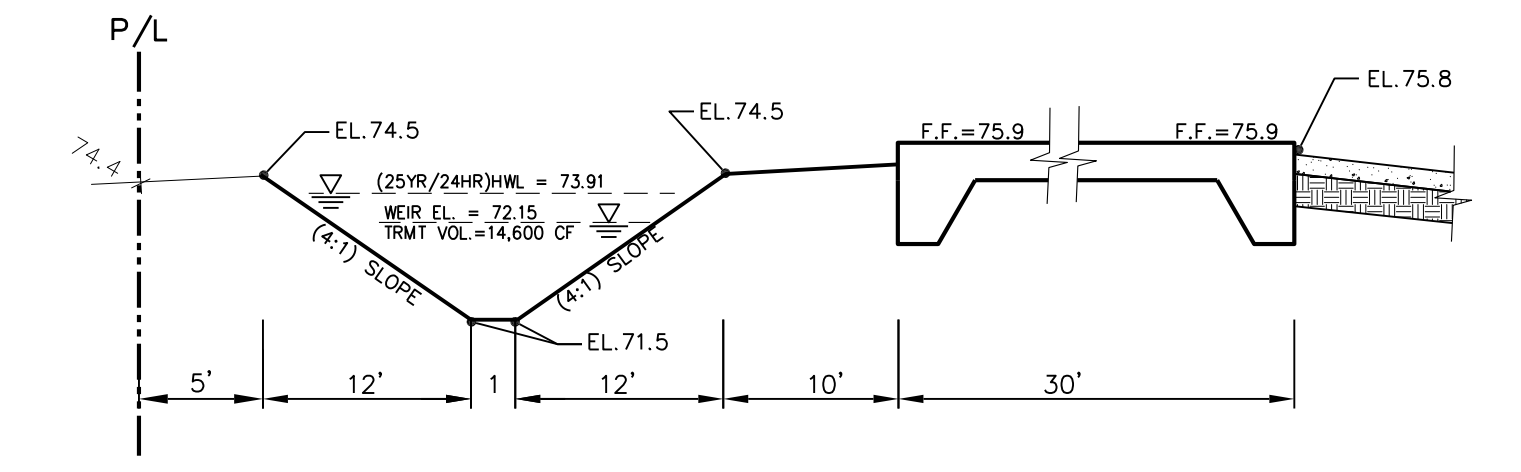
NOTES:
1. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY ARE TO BE SOODED.
2. DRIVEWAY IS TO BE CONSTRUCTED PER CITY OF ZEPHYRHILLS STANDARDS.
3. M.O.T. PER CITY OF ZEPHYRHILLS STANDARDS.

SECTION A-A (DRIVEWAY CENTERLINE PROFILE)
N.T.S.

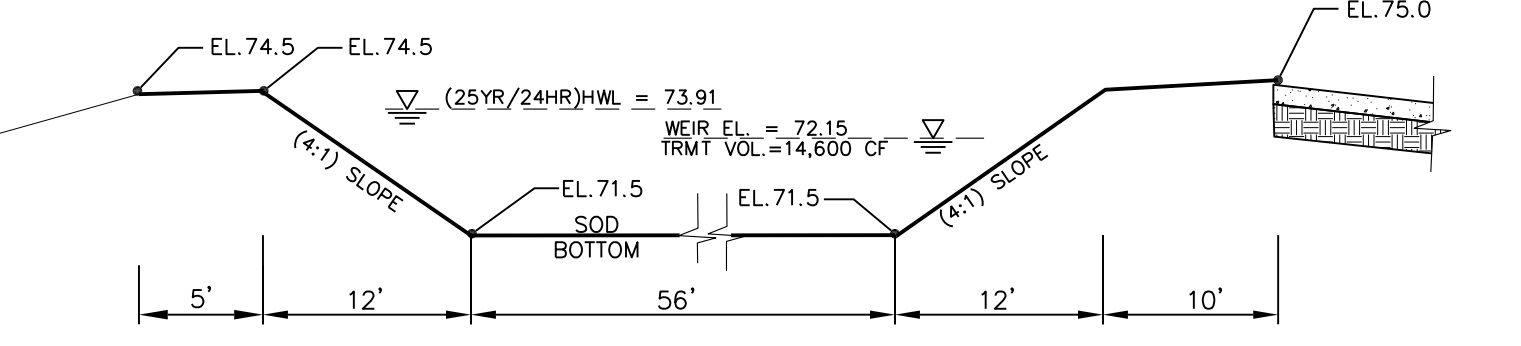


NOTES:
1. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY ARE TO BE SOODED.
2. DRIVEWAY IS TO BE CONSTRUCTED PER CITY OF ZEPHYRHILLS STANDARDS.
3. M.O.T. PER CITY OF ZEPHYRHILLS STANDARDS.

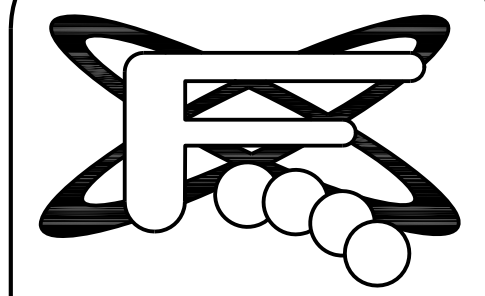
SECTION B-B (DRIVEWAY CENTERLINE PROFILE)
N.T.S.



SECTION C-C
N.T.S.



SECTION D-D
N.T.S.



P.O. BOX 4444
TAMPA, FL 33677
PH: (813) 251-0169
FAX: (813) 251-0179
frontierengineering@yahoo.com

FRONTIER ENGINEERING, INC.
COMMERCIAL · MUNICIPAL · RESIDENTIAL
ST. PETERSBURG · TAMPA

TIMOTHY J. HEALEY

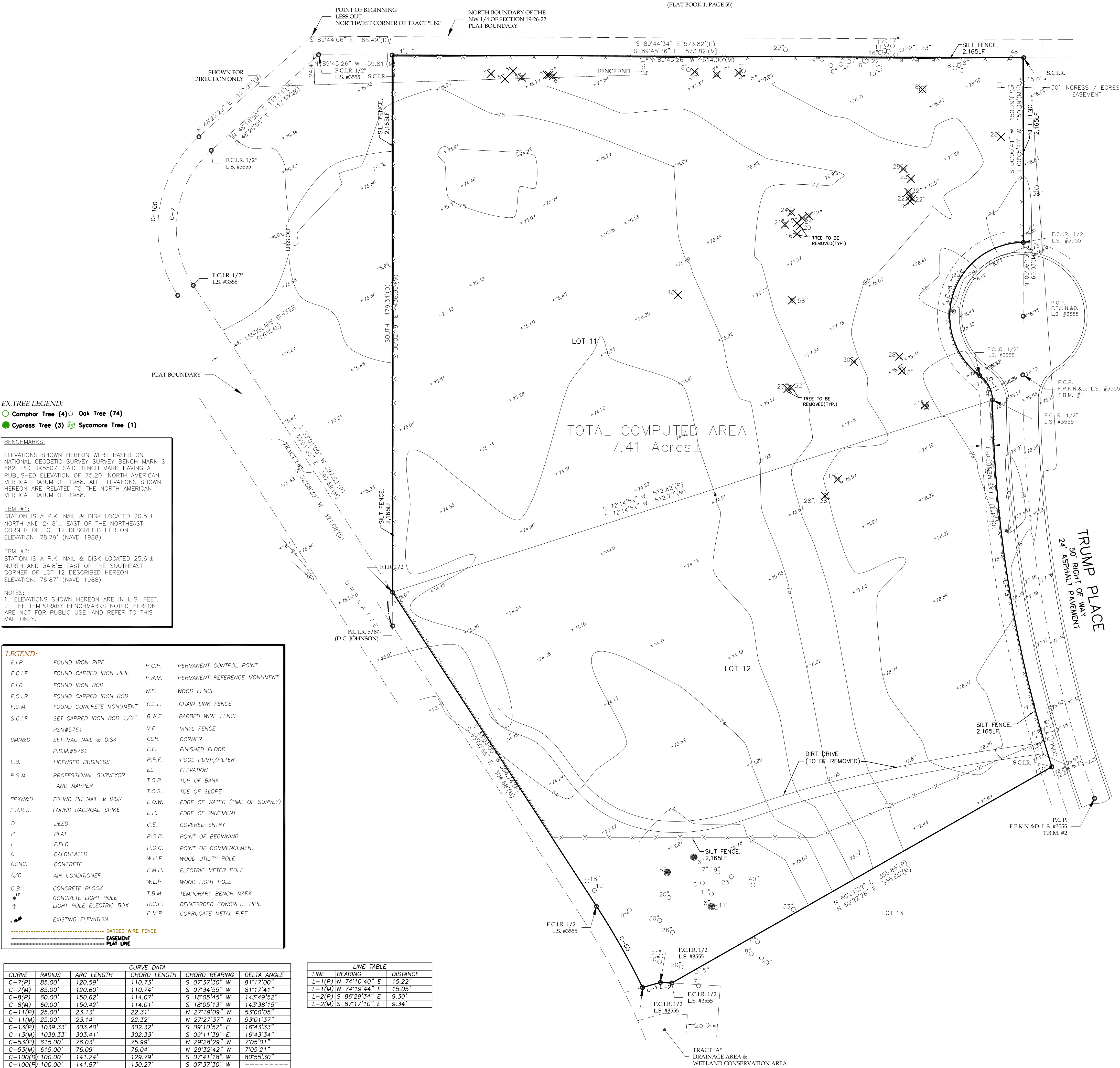
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**PARK PLACE BOAT & RV STORAGE
GRADING & DRAINAGE PLAN**

CITY OF ZEPHYRHILLS, FLORIDA

FLORIDA ENGINEER'S REGISTRATION NO. 53661

REVISION		DATE
NO.	DESCRIPTION	
1		
2		
3		
4		
5		
6		
7		
8		
9		
DATE: 6/27/22 JOB #: 21-16		
SCALE: 1" = 40'		
SHEET #: 2 OF 7		



EXTREE LEGEND:
○ Camphor Tree (4) ○ Oak Tree (74)
● Cypress Tree (3) ● Sycamore Tree (1)

BENCHMARKS:

ELEVATIONS SHOWN HEREON WERE BASED ON NATIONAL GEODETIC SURVEY BENCH MARK S 682, PID DK5507, SAID BENCH MARK HAVING A PUBLISHED ELEVATION OF 75.20' NORTH AMERICAN VERTICAL DATUM OF 1988. ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.

TBM #1:
STATION IS A P.K. NAIL & DISK LOCATED 20.5'± NORTH AND 34.8'± EAST OF THE NORTHEAST CORNER OF LOT 12 DESCRIBED HEREON. ELEVATION: 76.79' (NAVD 1988)

TBM #2:
STATION IS A P.K. NAIL & DISK LOCATED 25.6'± NORTH AND 34.8'± EAST OF THE SOUTHEAST CORNER OF LOT 12 DESCRIBED HEREON. ELEVATION: 76.87' (NAVD 1988)

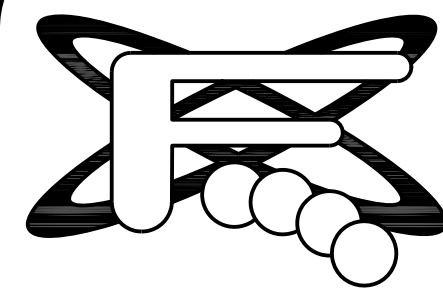
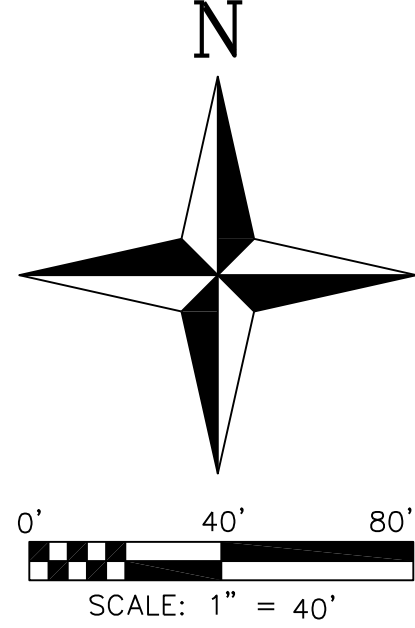
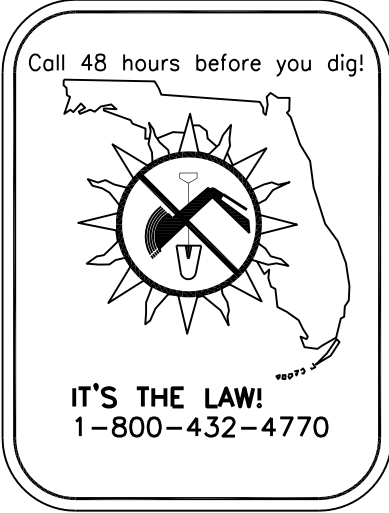
NOTES:
1. ELEVATIONS SHOWN HEREON ARE IN U.S. FEET.
2. THE TEMPORARY BENCHMARKS NOTED HEREON ARE NOT FOR PUBLIC USE, AND REFER TO THIS MAP ONLY.

LEGEND:

F.I.P.	FOUND IRON PIPE	P.C.P.	PERMANENT CONTROL POINT
F.C.I.P.	FOUND CAPPED IRON PIPE	P.R.M.	PERMANENT REFERENCE MONUMENT
F.I.R.	FOUND IRON ROD	W.F.	WOOD FENCE
F.C.I.R.	FOUND CAPPED IRON ROD	C.L.F.	CHAIN LINK FENCE
F.C.M.	FOUND CONCRETE MONUMENT	B.W.F.	BARBED WIRE FENCE
S.C.I.R.	SET CAPPED IRON ROD 1/2"	V.F.	VINYL FENCE
PSM#5761		COR.	CORNER
SMN&D	SET MAG NAIL & DISK	F.F.	FINISHED FLOOR
P.S.M.#5761		P.P.F.	POOL PUMP/FILTER
L.B.	LICENSED BUSINESS	EL.	ELEVATION
P.S.M.	PROFESSIONAL SURVEYOR AND MAPPER	T.O.B.	TOP OF BANK
FPKN&D	FOUND PK NAIL & DISK	T.O.S.	TOE OF SLOPE
F.R.R.S.	FOUND RAILROAD SPIKE	E.O.W.	EDGE OF WATER (TIME OF SURVEY)
D	DEED	E.P.	EDGE OF PAVEMENT
P	PLAT	C.E.	COVERED ENTRY
F	FIELD	P.O.B.	POINT OF BEGINNING
C	CALCULATED	P.O.C.	POINT OF COMMENCEMENT
CONC.	CONCRETE	W.U.P.	WOOD UTILITY POLE
A/C	AIR CONDITIONER	E.M.P.	ELECTRIC METER POLE
C.B.	CONCRETE BLOCK	W.L.P.	WOOD LIGHT POLE
LP	CONCRETE LIGHT POLE	T.B.M.	TEMPORARY BENCH MARK
S	LIGHT POLE ELECTRIC BOX	R.C.P.	REINFORCED CONCRETE PIPE
---	EXISTING ELEVATION	C.M.P.	CORRUGATE METAL PIPE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C-7(P)	85.00'	120.59'	110.73'	S 07°37'30" W	81°17'00"
C-7(M)	85.00'	120.60'	110.74'	S 07°34'55" W	81°17'41"
C-8(P)	60.00'	150.62'	114.07'	S 18°05'45" W	143°49'52"
C-8(M)	60.00'	150.42'	114.01'	S 18°05'13" W	143°38'15"
C-11(P)	25.00'	23.13'	22.31'	N 27°19'09" W	53°00'05"
C-11(M)	25.00'	23.14'	22.32'	N 27°27'37" W	53°01'37"
C-13(P)	1039.33'	303.40'	302.32'	S 09°10'52" E	16°43'33"
C-13(M)	1039.33'	303.41'	302.33'	S 09°11'39" E	16°43'34"
C-53(P)	615.00'	76.03'	75.99'	N 29°28'29" W	7°05'01"
C-53(M)	615.00'	76.09'	76.04'	N 29°32'42" W	7°05'21"
C-100(P)	100.00'	141.24'	129.79'	S 07°41'18" W	80°55'30"
C-100(M)	100.00'	141.87'	130.27'	S 07°37'30" W	-----

LINE	BEARING	DISTANCE
L-1(P)	N 74°10'40" E	15.22'
L-1(M)	N 74°19'44" E	15.05'
L-2(P)	S 86°29'34" E	9.30'
L-2(M)	S 87°17'10" E	9.34'



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TIMOTHY J. HEALEY

DESIGN:	IB
DRAWN:	IB
CHECKED:	TJH

PARK PLACE BOAT & RV STORAGE
EXISTING CONDITIONS / DEMO PLAN

CITY OF ZEPHYRHILLS, FLORIDA

FLORIDA ENGINEER'S REGISTRATION NO. 53661

REV.#	DATE	REVISION	BY
9			
8			
7			
6			
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4			
3			
2			
1			
DATE	6/27/22	JOB #	21-16
SCALE	1" = 40'		
SHEET #	4 OF 7		

GENERAL CONSTRUCTION NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- ELEVATIONS REFER TO THE NAVD 88.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE OWNER'S ENGINEER, SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS WHICH ARE FROM THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL SHOP DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER'S ENGINEER.
- AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES, AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER, OR WITHOUT AGENCY INSPECTOR PRESENT, MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AROUND PIPES IN 6" LAYERS UP TO A LEVEL OF AT LEAST ONE FOOT ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- SITE WORK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED.
- ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION IS TO BE ALLOWED.
- ALL DISTURBED AREAS WHICH ARE NOT TO BE SODDED, ARE TO BE SEEDED AND MULCHED TO DOT STANDARDS, AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS, ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER OF RECORD, HAVE BEEN OBTAINED. ANY WASHOUTS, REGRADEING, RESEEDING, AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR, UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE, BY THE REGULATORY AGENCY AND ENGINEER OF RECORD.
- THE SOILS ENGINEER IS TO SUPPLY THE ENGINEER WITH A PHOTOCOPY OF ALL COMPACTION TESTS, AND ASPHALT RESULTS. THE SOILS ENGINEER IS TO CERTIFY TO THE ENGINEER OF RECORD, IN WRITING, THAT ALL TESTING REQUIREMENTS, REQUIRED BY THE LOCAL REGULATORY AGENCY, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), FOR THE IMPROVEMENTS, AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS, HAVE BEEN SATISFIED.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS AND PERMITS AT THE CONSTRUCTION SITE.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS FOR CONSTRUCTION SITE SAFETY.
- ALL SODDING, SEEDING AND MULCHING SHALL INCLUDE WATERING AND FERTILIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE AREAS UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.

CLEARING AND GRUBBING NOTES

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER.
- THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE, WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE, NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS. ONLY "GRADING BY HAND" IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO REMAIN.
- THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
- DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- WHEN CONSTRUCTION IS COMPLETED, THE RETENTION/DETENTION AREAS WILL BE RESHAPED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SODDED IN ACCORDANCE TO THE PLANS.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS.

STORM SEWER NOTES

- ALL DELETERIOUS SUBSTANCE MATERIAL, (I.E. MUCK, PEAT, BURIED DEBRIS), IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS, OR AS DIRECTED BY THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING, OR SHORING, AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED.
- ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- THE CONTRACTOR IS TO SOD THE RETENTION/DETENTION POND AS INDICATED ON PLANS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE POND.
- MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY.

PAVING NOTES

- PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR APPROVAL.
- THE CONTRACTOR IS TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER, AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.
- ALL PAVEMENT MARKINGS SHALL BE MADE WITH TRAFFIC PAINT IN ACCORDANCE TO FDOT STANDARD SPECIFICATIONS 971-12 OR 971-13. PARKING STALL STRIPING TO BE 4" WIDE PAINTED WHITE STRIPES.
- THE CONTRACTOR IS TO INSTALL EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES.
- STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".

PAVING, GRADING & DRAINAGE TESTING AND INSPECTION REQUIREMENTS

- THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S SOILS ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL.
- THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING SCHEDULE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

WATER SYSTEM NOTES

- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES.
- ALL FITTINGS LARGER THAN 2" SHALL BE DUCTILE IRON CLASS 53 IN ACCORDANCE WITH AWWA C-110 WITH A PRESSURE RATING OF 350 PSI. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH AWWA C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH AWWA C-104.
- ALL PVC WATER MAINS 4" THROUGH 12" SHALL BE IN ACCORDANCE WITH AWWA C-900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18 IN ACCORDANCE WITH ASTM D-2241.
- WATER MAIN PIPING OF LESS THAN 4" SHALL BE PER PVC SCH40.
- ALL FITTINGS 2" AND SMALLER SHALL BE PVC SDR26 WITH PUSH ON JOINTS.
- ALL GATE VALVES 2" OR LARGER SHALL BE RESILIENT SEAT OR RESILIENT WEDGE MEETING THE REQUIREMENTS OF AWWA C509
- ALL FIRE HYDRANTS (IF NEEDED) SHALL MEET THE REQUIREMENTS OF AWWA C502 AND SHALL BE APPROVED BY THE LOCAL UTILITY AND FIRE MARSHAL.
- THE CONTRACTOR IS TO INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.
- THRUST BLOCKING SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS AS SHOWN ON DETAILS.
- THE IRRIGATION SYSTEM SHALL HAVE COLOR CODED PIPING AND LABELING ON THE PIPE TO INSURE DIFFERENTIATION FROM POTABLE WATER PIPING.

WATER SYSTEM TESTING AND INSPECTION REQUIREMENTS

- ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESURE TESTS TO BE IN ACCORDANCE WITH WATER DEPARTMENT SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND WATER DEPARTMENT INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.
- CONTRACTOR TO PERFORM CHLORINATION. BACTERIOLOGICAL SAMPLING SHALL BE BY THE LOCAL PUBLIC HEALTH UNIT AND/OR LOCAL UTILITY. CONTRACTOR SHALL OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.

HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR SEWER FORCE MAINS AND RECLAIMED WATER PIPELINES.

- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES

- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

SANITARY SEWER NOTES

- ALL SANITARY SEWER MAINS & LATERALS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE, SDR 26 OR AS OTHERWISE INDICATED ON THE CONSTRUCTION DRAWINGS.
- ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- PVC PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS DESIGNATION D-3034-77C, MA SDR 26. INSTALLATION OF SDR 26 PIPE SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ASTM SPECIFICATION SECTION D2321. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.
- ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.

SANITARY SEWER TESTING AND INSPECTION REQUIREMENTS

- THE CONTRACTOR SHALL PERFORM AN EXFILTRATION TEST ON ALL GRAVITY SEWERS INSTALLED IN ACCORDANCE WITH THE REGULATION AGENCY HAVING JURISDICTION. MAXIMUM ALLOWABLE LEAKAGE RATE: 200 GPD PER INCH PIPE DIAMETER PER MILE. TEST RESULTS ARE TO BE SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

NOTICE TO ALL CONTRACTORS AND DEVELOPERS

THE STORM, DOMESTIC WATER SYSTEM AND SANITARY SYSTEM FOR THIS PROJECT MUST BE INSPECTED BY OUR OFFICE IN ORDER THAT THEY BE CERTIFIED TO THE APPROPRIATE GOVERNMENTAL AGENCY. IT IS, THEREFORE, IMPERATIVE THAT OUR OFFICE BE NOTIFIED AT LEAST 24 HOURS PRIOR TO BACKFILLING OVER THESE FACILITIES. FAILURE TO DO SO WILL RESULT IN THESE FACILITIES HAVING TO BE UNCOVERED AND INSPECTED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED. YOUR CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL THE MATTER IS RESOLVED.

SWFWMD MAINTENANCE AND OPERATIONS INSPECTIONS FOR STORMWATER DISCHARGE FACILITY

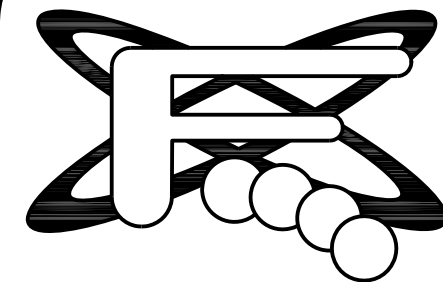
GENERAL MAINTENANCE:

- ALL STORMWATER PIPES, INLETS, CATCH BASINS, MANHOLES, FLUMES, POND INFLOW AND OUTFALL STRUCTURES (INCLUDING OIL SKIMMERS), AND DISCHARGE PIPES SHOULD BE INSPECTED ON A REGULAR BASIS (MONTHLY OR QUARTERLY) AND AFTER MAJOR RAINFALLS. THEY SHOULD BE MAINTAINED BY REMOVING BUILT-UP DEBRIS AND VEGETATION AND REPAIRING DETERIORATING STRUCTURES.
- CHEMICALS, OILS, GREASES OR SIMILAR WASTES ARE NOT TO BE DISPOSED OF DIRECTLY TO THE STORMWATER FACILITY OR THROUGH STORM SEWERS. TREATMENT PONDS ARE DESIGNED TO TREAT NORMAL ROAD, PARKING LOT, ROOF AND YARD RUNOFF ONLY. SOME CHEMICALS MAY INTERFERE WITH A TREATMENT POND'S FUNCTIONS OR KILL VEGETATION AND WILDLIFE. DISPOSE OF THESE POTENTIALLY DANGEROUS MATERIALS PROPERLY BY TAKING THEM TO RECYCLING FACILITIES OR TO COLLECTION LOCATIONS SPONSORED BY MANY LOCAL GOVERNMENTS.

DO NOT DISPOSE OF GRASS CLIPPINGS IN THE SURFACE WATER MANAGEMENT SYSTEM (SWMS). GRASS CLIPPINGS POSE PROBLEMS BY SMOTHERING DESIRABLE VEGETATION, CLOGGING OUTFALL STRUCTURES AND, WHEN THEY DECOMPOSE, MAY CAUSE UNSIGHTLY ALGAE BLOOMS THAT CAN KILL FISH.
- ACCUMULATED POND SEDIMENTS MAY CONTAIN HEAVY METALS SUCH AS LEAD, CADMIUM AND MERCURY, AS WELL AS OTHER POTENTIALLY HAZARDOUS MATERIALS. THEREFORE, SEDIMENTS REMOVED FROM STORM SEWERS, INLETS, PIPES, AND PONDS SHOULD BE DISPOSED OF AT AN APPROVED FACILITY (CHECK WITH YOUR COUNTY SOLID WASTE DEPARTMENT OR THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR DISPOSAL FACILITIES APPROVED TO ACCEPT TREATMENT POND SEDIMENT).
- DURING ANY REPAIR OR MAINTENANCE ACTIVITY, USE CARE TO AVOID CAUSING EROSION OR SILTATION TO ADJACENT OR OFF-SITE AREAS.
- REMEMBER, ALTERATIONS (FILLING, ENLARGING, ETC.) OF ANY PART OF THE STORMWATER FACILITY IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM ALL APPLICABLE GOVERNING AGENCIES.
- IT IS USUALLY MORE COST-EFFECTIVE TO MONITOR AND PERFORM ROUTINE MAINTENANCE ON THE SWMS, RATHER THAN LET IT FAIL AND HAVE TO RECONSTRUCT THE ENTIRE SYSTEM.
- MOSQUITO GROWTH CAN BE MINIMIZED IN THE SWMS BY THE FOLLOWING MEASURES:
 - DO NOT DUMP GRASS CLIPPINGS OR OTHER ORGANIC DEBRIS INTO THE SWMS. DECAYING GRASS CLIPPINGS AND OTHER DECOMPOSING VEGETATION CREATE IDEAL CONDITIONS FOR BREEDING MOSQUITOES.
 - CLEAN OUT ANY OBSTRUCTIONS THAT GET INTO THE SYSTEM. DEBRIS CAN OBSTRUCT FLOW AND HARBOR MOSQUITO EGGS AND LARVAE.
 - REMOVE WATER LETTUCE AND WATER HYACINTH, WHICH NOURISH AND SHELTER MOSQUITO LARVAE.
 - STOCK PONDS WITH PREDATORY "MOSQUITO FISH" - GAMBUSIA MINNOWS, WHICH MAY BE COLLECTED FROM OTHER PONDS AND DITCHES AND INTRODUCED INTO YOUR SWMS. REMEMBER, THE INTRODUCTION OF GRASS CARP INTO YOUR SWMS WILL REQUIRE SWFWMD APPROVAL.
- DITCHES AND SWALES SHOULD BE PERIODICALLY MOVED AND CLEANED OF ACCUMULATED REFUSE. DURING THE MOWING OPERATIONS, DITCHES AND SWALES SHOULD BE INSPECTED FOR BARE SPOTS, DAMAGE OR EROSION. BARE AREAS SHOULD BE SODDED OR SEEDED TO REPLACE THE GRASS COVER. IN THE CASE OF EROSION, REPLACE THE MISSING SOILS AND BRING THE AREA BACK TO GRADE.

DRY RETENTION PONDS:

- ON A MONTHLY OR QUARTERLY BASIS, AND FOLLOWING A STORM EVENT, YOU SHOULD MAKE AN INSPECTION OF THE POND AND ITS OUTFALL STRUCTURE TO ENSURE THAT THE SYSTEM IS OPERATING PROPERLY. IF STANDING WATER PERSISTS LONGER THAN 72 HOURS AFTER A NORMAL SUMMER RAIN EVENT, OR IF WETLAND VEGETATION SUCH AS CATTAILS GROW IN THE POND, THE STORMWATER FACILITY MAY BE IN NEED OF REPAIR. REPAIRS MAY BE AS SIMPLE AS SCARIFYING OR RAKING THE POND BOTTOM, OR MAY CONSIST OF REMOVING THE BOTTOM SEDIMENT (APPROXIMATELY THE TOP FOOT OF SOIL) AND REPLACING THE SOIL WITH CLEAN SAND. FOR MORE INFORMATION, CONTACT YOUR LOCAL SWFWMD SERVICE OFFICE.
- MOW FREQUENTLY ENOUGH TO PREVENT THATCH BUILDUP. PICK UP GRASS CLIPPINGS AFTER CUTTING. LIMIT FERTILIZER USE AROUND THE POND, AND DO NOT FERTILIZE GRASS IN THE POND AREA.
- RESOD ANY AREAS (SIDES OR BOTTOM) WHERE GRASS OR SOD HAS BEEN REMOVED OR ERODED.
- KEEP THE OUTFALL STRUCTURE CLEAR OF DEBRIS AND VEGETATION.



P.O. BOX 4444
TAMPA, FL 33677
PH: (813) 251-0169
FAX: (813) 251-0179
frontierengineering@yahoo.com

FRONTIER ENGINEERING, INC.
COMMERCIAL - MUNICIPAL - RESIDENTIAL
ST. PETERSBURG - TAMPA

PARK PLACE BOAT & RV STORAGE
NOTES & SPECIFICATIONS

TIMOTHY J. HEALEY

IB

IB

TJH

DESIGN:

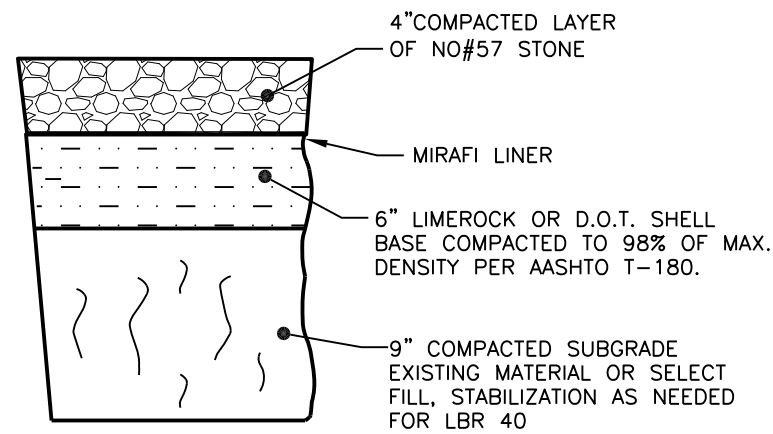
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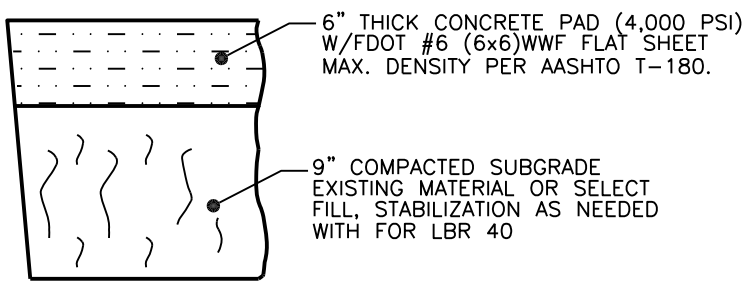
CITY OF ZEPHYRHILLS, FLORIDA

FLORIDA ENGINEER'S REGISTRATION NO. 53661

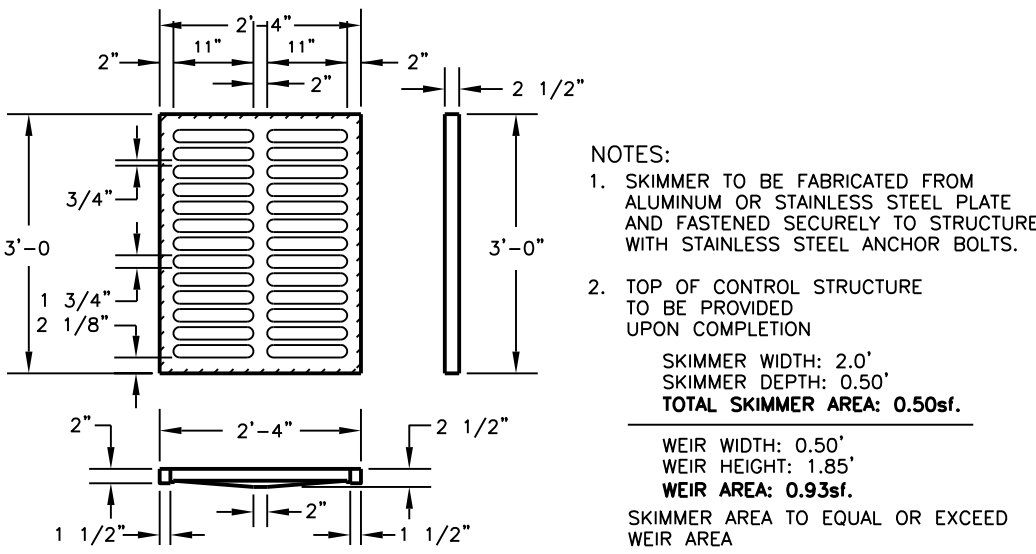
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DATE: 6/27/22 JOB #: 21-16
SCALE: N.T.S.
SHEET #: 5 OF 7



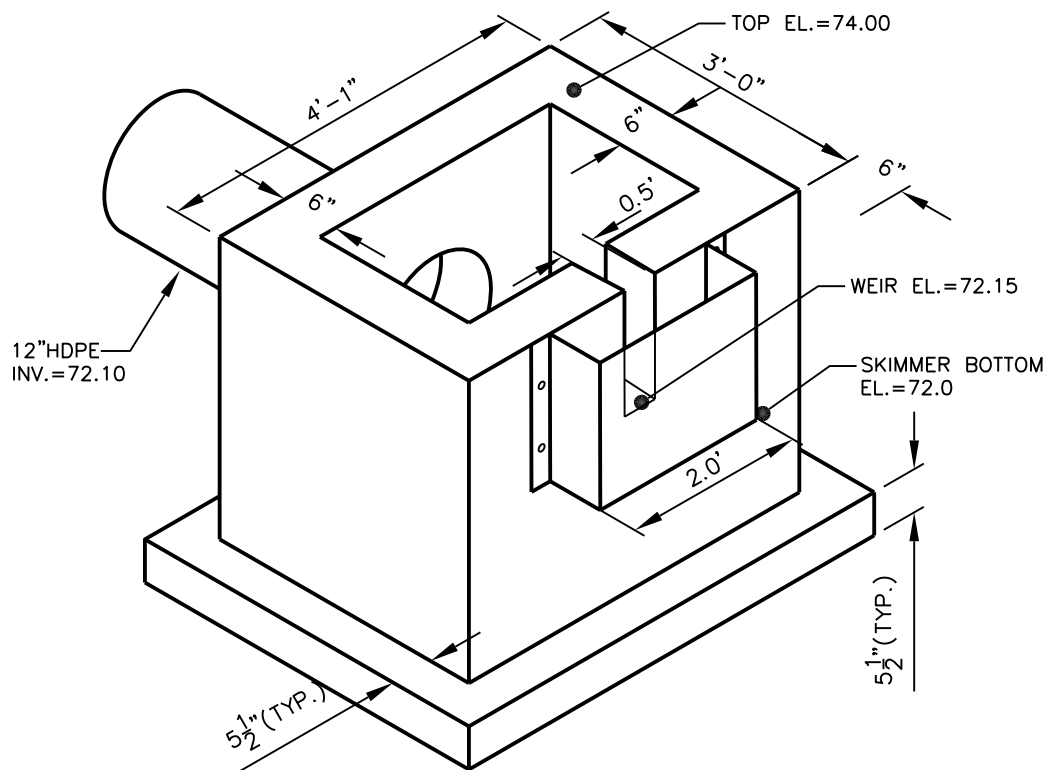
HEAVY DUTY ROCK PAVEMENT DETAIL
N.T.S.



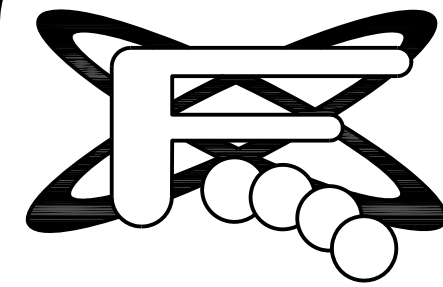
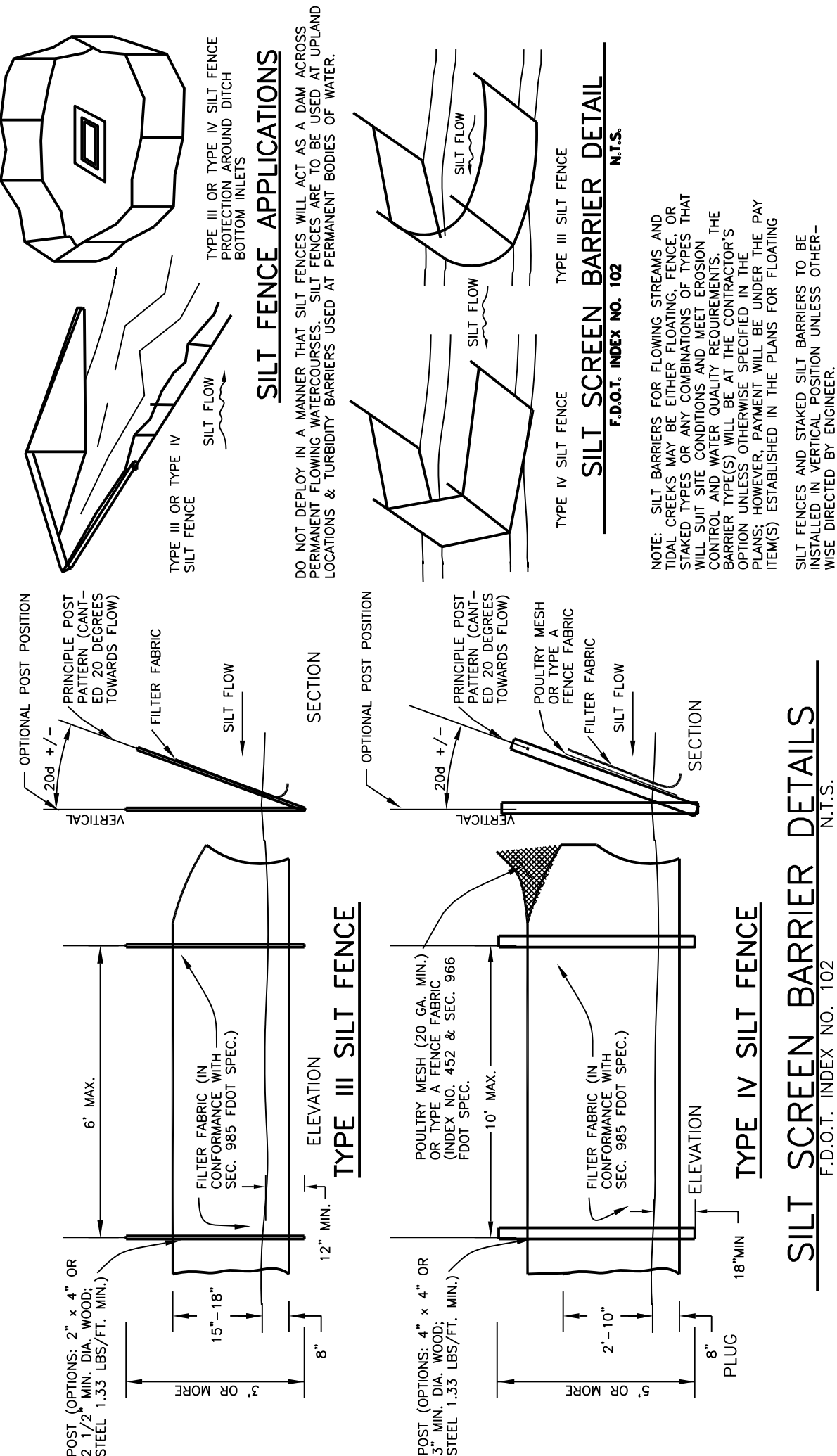
CONCRETE PAVEMENT DETAIL
(DRIVEWAY ENTRANCES)
N.T.S.



TYPE "C" - CAST IRON GRATE
APPROX. WEIGHT 235 LBS.
N.T.S.



OUTFALL CONTROL STRUCTURE
SCALE: N.T.S.
TYPE "C"



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ST. PETERSBURG - TAMPA

PARK PLACE BOAT & RV STORAGE DETAILS I

CITY OF ZEPHYRHILLS, FLORIDA

TIMOTHY J. HEALEY

DESIGN:	IB
DRAWN:	IB
CHECKED:	TJH

FLORIDA ENGINEER'S REGISTRATION NO. 53661

REV.#	DATE	REVISION	BY
9			
8			
7			
6			
5			
4			
3			
2			
1			

SCALE: N.T.S.

SHEET #: 6 OF 7

PROPOSED LEGEND

- DIRECTION OF FLOW
EXISTING ELEVATION
PROPOSED ELEVATION
NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)
SILT FENCE
6'TALL PVC FENCE
6'HIGH PDOT FENCE VINYL COATED(BLACK) W/ BARBED WIRE
CEMENT BAG RIP-RAP PAD
FILTER SOCK
NUMBER OF PROPOSED PARKING SPACES
PROTECTIVE TREE BARRICADE
REMOVE EXISTING TREE

PAVING LEGEND

- PROPOSED CONCRETE
PROPOSED COMPACTED GRAVEL

EX.TREE LEGEND:

- Camphor Tree (4) Oak Tree (74)
Cypress Tree (3) Sycamore Tree (1)

BENCHMARKS:

ELEVATIONS SHOWN HEREON WERE BASED ON NATIONAL GEODETIC SURVEY BENCH MARK S 682, PID DK5507, SAID BENCH MARK HAVING A PUBLISHED ELEVATION OF 75.20' NORTH AMERICAN VERTICAL DATUM OF 1988. ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.

TBM #1:
STATION IS A P.K. NAIL & DISK LOCATED 20.5'± NORTH AND 24.8'± EAST OF THE NORTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 76.79' (NAVD 1988)

TBM #2:
STATION IS A P.K. NAIL & DISK LOCATED 25.6'± NORTH AND 34.8'± EAST OF THE SOUTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 76.87' (NAVD 1988)

NOTES:
1. ELEVATIONS SHOWN HEREON ARE IN U.S. FEET.
2. THE TEMPORARY BENCHMARKS NOTED HEREON ARE NOT FOR PUBLIC USE, AND REFER TO THIS MAP ONLY.

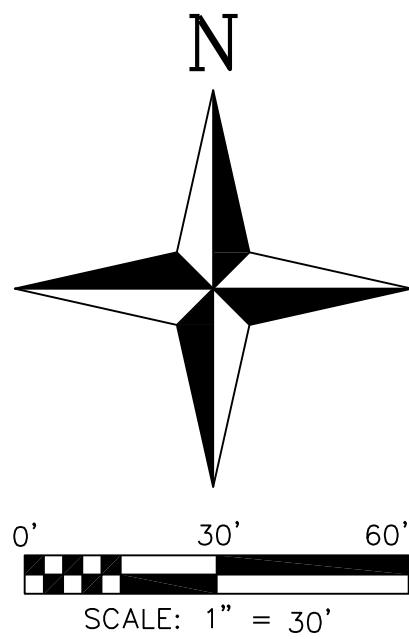
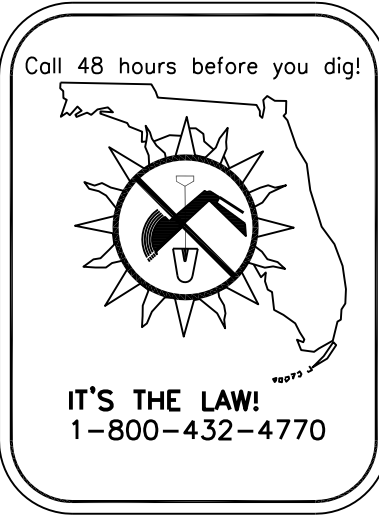
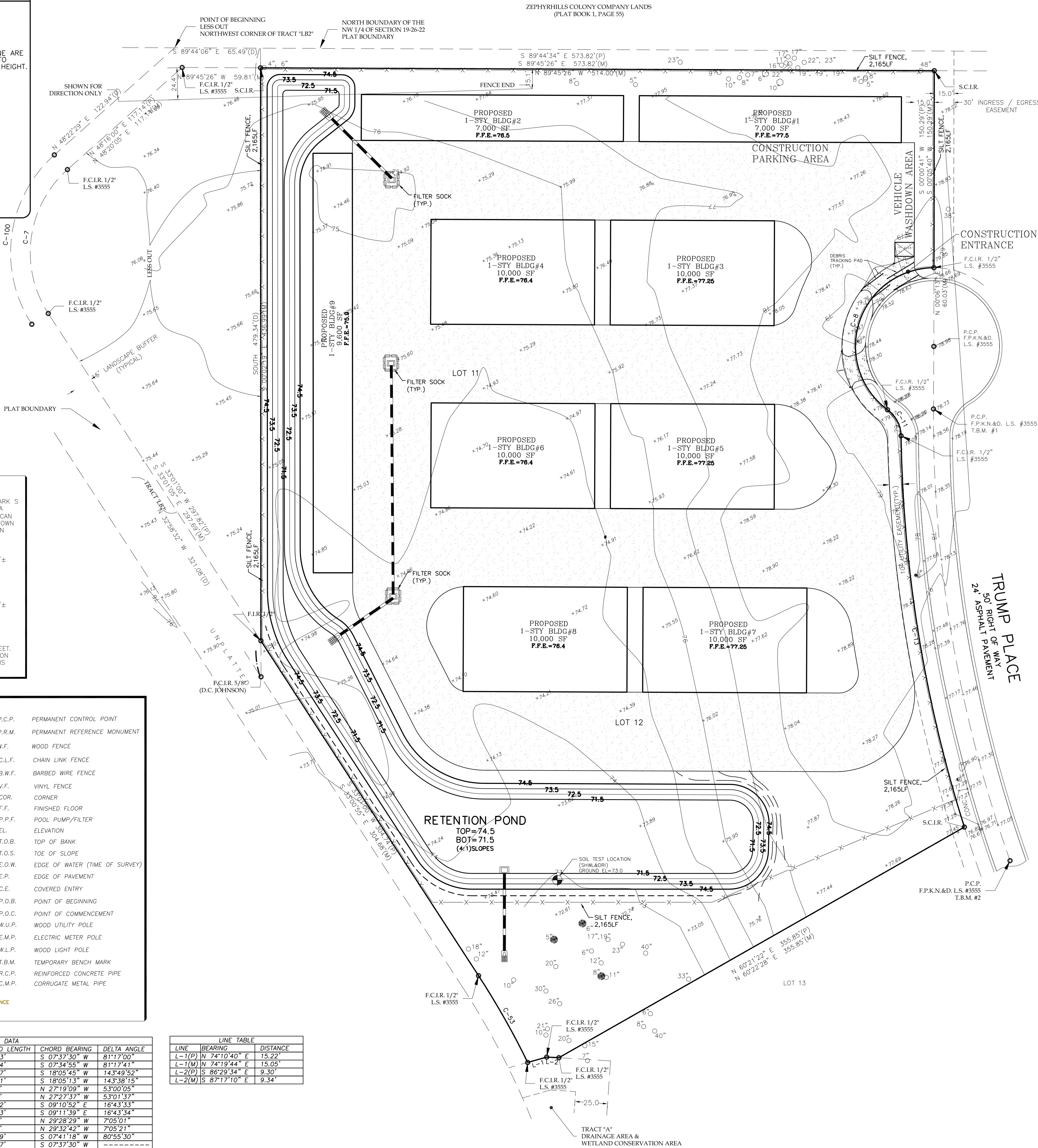
LEGEND:

F.I.P.	FOUND IRON PIPE	P.C.P.	PERMANENT CONTROL POINT	
F.C.I.P.	FOUND CAPPED IRON PIPE	P.R.M.	PERMANENT REFERENCE MONUMENT	
F.I.R.	FOUND IRON ROD	W.F.	WOOD FENCE	
F.C.I.R.	FOUND CAPPED IRON ROD	B.W.F.	BARBED WIRE FENCE	
F.C.M.	FOUND CONCRETE MONUMENT	C.L.F.	CHAIN LINK FENCE	
S.C.I.R.	SET CAPPED IRON ROD 1/2"	P.S.M.#5761	V.F.	VINYL FENCE
SMN&D	SET MAG NAIL & DISK		COR.	CORNER
	P.S.M.#5761		F.F.	FINISHED FLOOR
L.B.	LICENSED BUSINESS		P.P.F.	POOL PUMP/FILTER
P.S.M.	PROFESSIONAL SURVEYOR		EL.	ELEVATION
	AND MAPPER		T.O.B.	TOP OF BANK
			T.O.S.	TOE OF SLOPE
FPKN&D	FOUND PK NAIL & DISK		E.O.W.	EDGE OF WATER (TIME OF SURVEY)
F.R.R.S.	FOUND RAILROAD SPIKE		E.P.	EDGE OF PAVEMENT
D	DEED		C.E.	COVERED ENTRY
P	PLAT		P.O.B.	POINT OF BEGINNING
F	FIELD		P.O.C.	POINT OF COMMENCEMENT
C	CALCULATED		W.U.P.	WOOD UTILITY POLE
CONC.	CONCRETE		E.M.P.	ELECTRIC METER POLE
A/C	AIR CONDITIONER		W.L.P.	WOOD LIGHT POLE
C.B.	CONCRETE BLOCK		T.B.M.	TEMPORARY BENCH MARK
LP	CONCRETE LIGHT POLE		R.C.P.	REINFORCED CONCRETE PIPE
EL	LIGHT POLE ELECTRIC BOX		C.M.P.	CORRUGATE METAL PIPE
EXISTING ELEVATION				

BARBED WIRE FENCE
EASEMENT
PLAT LINE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C-7(P)	85.00'	120.59'	110.73'	S 07°37'30" W	81°17'00"
C-7(M)	85.00'	120.60'	110.74'	S 07°34'55" W	81°17'41"
C-8(P)	60.00'	150.62'	114.07'	S 18°05'45" W	143°49'52"
C-8(M)	60.00'	150.42'	114.01'	S 18°05'13" W	143°38'15"
C-11(P)	25.00'	23.13'	22.31'	N 27°19'09" W	53°00'05"
C-11(M)	25.00'	23.14'	22.32'	N 27°27'37" W	53°01'37"
C-13(P)	1039.33'	303.40'	302.32'	S 09°10'52" E	16°43'33"
C-13(M)	1039.33'	303.41'	302.33'	S 09°11'39" E	16°43'34"
C-53(P)	615.00'	76.03'	75.99'	N 29°28'29" W	7°05'01"
C-53(M)	615.00'	76.09'	76.04'	N 29°32'42" W	7°05'21"
C-100(D)	100.00'	141.24'	129.79'	S 07°41'18" W	80°55'30"
C-100(P)	100.00'	141.87'	130.27'	S 07°37'30" W	-----

LINE	BEARING	DISTANCE
L-1(P)	N 74°10'40" E	15.22'
L-1(M)	N 74°19'44" E	15.05'
L-2(P)	S 86°29'34" E	9.30'
L-2(M)	S 87°17'10" E	9.34'



SEQUENCE OF CONSTRUCTION

1. THE SITE SUPERINTENDENT AND/OR THE PARTY THAT WILL BE DIRECTLY RESPONSIBLE FOR MAINTAINING THE SEDIMENT CONTROL DEVICES MUST MEET WITH THE CITY OF ZEPHYRHILLS SEDIMENT CONTROL INSPECTOR AT THE SITE WITH A PRINT OF THE APPROVED SEDIMENT CONTROL PLAN PRIOR TO CONSTRUCTION.
2. OBTAIN SITE PERMIT FROM CITY OF ZEPHYRHILLS.
3. INSTALL THE STABILIZED CONSTRUCTION ENTRANCE LOCATED ON THE SOUTHEAST CORNER OF THE PROPERTY ADJACENT TO EXISTING APRON. ENTRANCE WILL BE LOCATED WHERE THE PROPOSED FUTURE CROSS ACCESS POSITION IS.

NOTE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENTATION ONTO PUBLIC RIGHT-OF-WAYS OR STREET. ALL SEDIMENT SPILLED, DROPPED OR WASHED ONTO PUBLIC RIGHT-OF-WAYS OR STREETS MUST BE REMOVED IMMEDIATELY.

4. CONSTRUCT TEMPORARY PARKING AREAS.
5. INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AREA.
6. INSTALL FILTER SOCK AT THROAT OF EXISTING CONCRETE FLUME WEST SIDE OF SITE.
7. CLEAR AND GRUB SITE.
8. BEGIN ROUGH GRADING OF SITE.
9. STOCK PILE ALL EXCESS CUT ONTO DESIGNATED STOCK PILE AREA. INSTALL SILT FENCE AROUND THE STOCK PILE AREA.
10. START HEAVY EARTHWORK GRADING.
11. BEGIN PIPEWORK IN EDGE OF DETENTION PONDS.
12. BEGIN INSTALL OF WATER, STORM SEWER, SANITARY SEWER & UTILITY CONDUIT LINES.
13. INSTALL THE FOLLOWING SEDIMENT CONTROL DEVICES: A. RIP RAP BELOW ALL MITERED END SECTIONS. B. FILTER SOCKS IN FRONT OF ALL INLET STRUCTURES.
14. GRADE SITE TO FINAL DESIGN ELEVATIONS.
15. UPON APPROVAL OF GRADING STABILIZATION, BEGIN SEEDING/SODDING WHERE APPLICABLE.
17. INSTALL CURB AND GUTTER AND PAVE SITE.
18. EROSION AND SEDIMENT CONTROL DEVICES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED AND ALL LANDSCAPING HAS BEEN INSTALLED. NOTE: TEMPORARY PARKING AREA TO BE CONSTRUCTED PER TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SPECS

MAINTENANCE

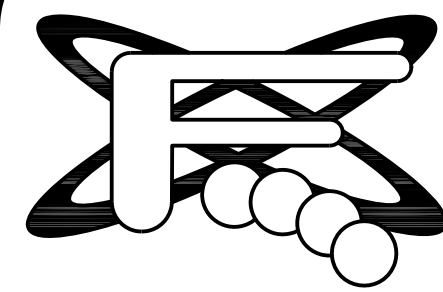
IN GENERAL ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAINFALL OR WEEKLY, WHICHEVER IS MOST FREQUENT AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. STRAW BALE BARRIERS WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION.
2. ALL SEEDING AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED AND SHOULD BE FERTILIZED AND RESEEDING AS NEEDED.
3. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. 4. THE SEDIMENT TRAPS WILL BE CHECKED PERIODICALLY FOR SEDIMENT CLEANOUT.

NOTE:
ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH DAY. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD. IF THE ACTION OF VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.

DEWATERING NOTES:

CONTRACTOR MUST PROVIDE A DEWATERING PLAN, IF APPLICABLE, TO PASCO COUNTY ENGINEERING INSPECTIONS DEPARTMENT AT (727) 834-3670 FOR REVIEW PRIOR TO THE EROSION CONTROL MEASURES PRE-INSPECTION MEETING. - CONDITION OF APPROVAL (COA).



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frontierengineering@yahoo.com

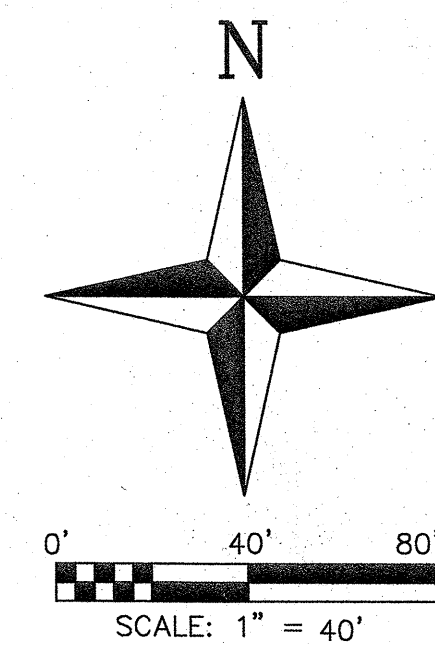
FRONTIER ENGINEERING, INC.
COMMERCIAL · MUNICIPAL · RESIDENTIAL
ST. PETERSBURG · TAMPA

PARK PLACE BOAT & RV STORAGE
NPDES/SWPP PLAN

TIMOTHY J. HEALEY
DESIGN: IB
DRAWN: IB
CHECKED: TJH
CITY OF ZEPHYRHILLS, FLORIDA

FLORIDA ENGINEER'S REGISTRATION NO. 53661

REV.#	DATE	REVISION	BY
1	6/27/22	JOB #21-16	
2			
3			
4			
5			
6			
7			
8			
9			
SCALE: 1" = 30'			
SHEET #: 7 OF 7			



PROPOSED LEGEND	
	DIRECTION OF FLOW
	EXISTING ELEVATION
	PROPOSED ELEVATION
NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)	
	SILT FENCE
	6'TALL PVC FENCE
	6'HIGH FDOT FENCE VINYL COATED(BLACK) W/BARBED WIRE
	CEMENT BAG RIP-RAP PAD
	HAYBALE BARRICADE
	NUMBER OF PROPOSED PARKING SPACES
	PROTECTIVE TREE BARRICADE
	REMOVE EXISTING TREE

PAVING LEGEND

	PROPOSED CONCRETE
	PROPOSED ASPHALT

PROPRIETARY
INFORMATION

ARCHITECTURAL APPROVAL

REC'D. STEPHEN HERRMANN 2022

APPV'D. _____

CONDITIONS _____

Stephen Herrmann
31131 Pasco Rd
San Antonio, FL 33576

LEGEND:			
F.I.P.	FOUND IRON PIPE	P.C.P.	PERMANENT CONTROL POINT
F.C.I.P.	FOUND CAPPED IRON PIPE	P.R.M.	PERMANENT REFERENCE MONUMENT
F.I.R.	FOUND IRON ROD	W.F.	WOOD FENCE
F.C.I.R.	FOUND CAPPED IRON ROD	C.L.F.	CHAIN LINK FENCE
F.C.M.	FOUND CONCRETE MONUMENT	B.W.F.	BARBED WIRE FENCE
S.C.I.R.	SET CAPPED IRON ROD 1/2"	V.F.	VINYL FENCE
	PSM#5761	COR.	CORNER
SMN&D	SET MAG NAIL & DISK	F.F.	FINISHED FLOOR
	P.S.M.#5761	P.P.F.	POOL PUMP/FILTER
L.B.	LICENSED BUSINESS	EL.	ELEVATION
P.S.M.	PROFESSIONAL SURVEYOR	T.O.B.	TOP OF BANK
	AND MAPPER	T.O.S.	TOE OF SLOPE
FRN&D	FOUND PK NAIL & DISK	E.O.W.	EDGE OF WATER (TIME OF SURVEY)
F.R.R.S.	FOUND RAILROAD SPIKE	E.P.	EDGE OF PAVEMENT
D	DEED	C.E.	COVERED ENTRY
P	PLAT	P.O.B.	POINT OF BEGINNING
F	FIELD	P.O.C.	POINT OF COMMENCEMENT
C	CALCULATED	W.U.P.	WOOD UTILITY POLE
CONG.	CONCRETE	E.M.P.	ELECTRIC METER POLE
A/C	AIR CONDITIONER	W.L.P.	WOOD LIGHT POLE
C.B.	CONCRETE BLOCK	T.B.M.	TEMPORARY HENCH MARK
•	CONCRETE LIGHT POLE	R.C.P.	REINFORCED CONCRETE PIPE
o	LIGHT POLE LIGHT BOX	G.M.P.	CORRUGATE METAL PIPE
•	EXISTING ELEVATION		
-----		BARBED WIRE FENCE	
-----		EASEMENT	
-----		PLAT LINE	

EX. TREE LEGEND:

	Camphor Tree (4)		Oak Tree (74)
	Cypress Tree (3)		Sycamore Tree (1)

BENCHMARKS:

ELEVATIONS SHOWN HEREON WERE BASED ON NATIONAL GEODETIC SURVEY SURVEY BENCH MARK 5, 682, PD DK5507, SAID BENCH MARK HAVING A PUBLISHED ELEVATION OF 75.20' NORTH AMERICAN VERTICAL DATUM OF 1988. ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE ELEVATION SHOWN VERTICAL DATUM OF 1988.

TM #1:

STATION IS A P.K. NAIL & DISK LOCATED 20.5'± NORTH AND 24.8'± EAST OF THE NORTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 78.79' (NAVD 1988)

TM #2:

STATION IS A P.K. NAIL & DISK LOCATED 25.6'± NORTH AND 34.8'± EAST OF THE SOUTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 76.87' (NAVD 1988)

NOTES:

1. ELEVATIONS SHOWN HEREON ARE IN U.S. FEET.
2. TEMPORARY BENCHMARKS NOTED HEREON ARE NOT FOR PUBLIC USE, AND REFER TO THIS MAP ONLY.

CURVE DATA					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C-7(P)	85.00'	120.59'	110.73'	S 07°37'30" W	81°17'00"
C-7(M)	85.00'	120.60'	110.74'	S 07°34'55" W	81°17'41"
C-8(P)	60.00'	150.62'	114.07'	S 18°05'45" W	143°49'52"
C-8(M)	60.00'	150.62'	114.07'	S 18°05'45" W	143°49'52"
C-11(P)	25.00'	23.13'	22.11'	N 27°19'09" W	53°00'05"
C-11(M)	25.00'	23.14'	22.32'	N 27°27'37" W	53°01'37"
C-13(P)	1039.33'	303.40'	302.32'	S 09°10'52" E	16°43'33"
C-13(M)	1039.33'	303.41'	302.33'	S 09°11'39" E	16°43'34"
C-53(P)	615.00'	76.03'	75.99'	N 29°28'29" W	7°05'01"
C-53(M)	615.00'	76.09'	76.04'±22"	N 29°28'29" W	7°05'11"
C-100(P)	100.00'	14.87'	13.76'	S 07°41'18" W	80°55'30"
C-100(M)	100.00'	14.78'	13.20'	S 07°37'30" W	

LINE TABLE		
LINE	BEARING	DISTANCE
L-1(P)	N 74°10'40" E	15.22'
L-1(M)	N 74°19'44" E	15.05'
L-2(P)	S 86°29'34" E	9.30'
L-2(M)	S 87°17'10" E	9.34'

MARKET AT ZEPHYRHILLS

A REPLAT OF A PORTION OF TRACTS 49, 50, 63 AND ALL OF TRACT 64 OF ZEPHYRHILLS COLONY COMPANY LANDS AS RECORDED IN PLAT BOOK 1, PAGE 55 LYING WITHIN SECTION 34, TOWNSHIP 25 SOUTH, RANGE 21 EAST, CITY OF ZEPHYRHILLS, PASCO COUNTY, FLORIDA

DESCRIPTION:

A PORTION OF TRACTS 49, 50, 63 AND 64, A MAP SHOWING THE LOCATION OF THE LANDS OF THE ZEPHYRHILLS COLONY COMPANY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 55 PUBLIC RECORDS OF PASCO COUNTY , FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 34, TOWNSHIP 25 SOUTH, RANGE 21 EAST, THENCE ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4, S.89°59'18"W., A DISTANCE OF 192.74 FEET TO THE WEST RIGHT OF WAY LINE OF UNITED STATES HIGHWAY 301 (ALSO KNOWN AS GALL BOULEVARD AND STATE ROAD 39) SHOWN ON THE FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP, PROJECT 940, DATED NOVEMBER 18TH, 1939; THENCE ALONG SAID WEST RIGHT OF WAY LINE, N.01°08'03"W., A DISTANCE OF 25.00 FEET TO THE NORTH RIGHT OF WAY LINE OF PRETTY POND ROAD AS RECORDED IN OFFICIAL RECORDS BOOK 415, PAGE 401, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE ALONG SAID NORTH RIGHT OF WAY LINE, S.89°59'18"W., A DISTANCE OF 467.70 FEET TO THE EAST LINE OF AFORESAID TRACT 63; THENCE ALONG SAID EAST LINE, S.00°08'50"W., A DISTANCE OF 10.00 FEET TO THE NORTH RIGHT OF WAY LINE OF AN UNNAMED ROAD, AS RECORDED IN AFORESAID PLAT BOOK 1, PAGE 55; THENCE ALONG SAID NORTH RIGHT OF WAY LINE, S.89°59'18"W., A DISTANCE OF 124.50 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE EAST LINE OF LOT 1, ZEPHYRHILLS SUPERCENTER — A REPLAT, ACCORDING TO THE PLAT OR MAP THEREOF AS RECORDED IN PLAT BOOK 42, PAGES 58 THROUGH 59, PUBLIC RECORDS OF PASCO COUNTY , FLORIDA ; THENCE ALONG SAID EAST LINE AND ITS SOUTHERLY EXTENSION, N.00°08'50"E., A DISTANCE OF 648.07 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE ALONG SAID SOUTH LINE, N.89°59'53"E., A DISTANCE OF 577.93 FEET TO THE AFORESAID WEST RIGHT OF WAY LINE; THENCE ALONG SAID WEST RIGHT OF WAY LINE, S.01°08'03"E., A DISTANCE OF 638.10 FEET TO THE POINT OF BEGINNING.

CONTAINING 8.60 ACRES, MORE OR LESS.

DEDICATION:

WLN ZEPHYRHILLS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, (THE "OWNER"), HEREBY STATES AND DECLARES THAT IT IS THE FEE SIMPLE OWNER OF ALL LANDS REFERRED TO AS MARKET AT ZEPHYRHILLS AND DESCRIBED IN THE LEGAL DESCRIPTION, WHICH IS A PART OF THIS PLAT, AND MAKES THE FOLLOWING DEDICATIONS.

1. "OWNER" HEREBY RESERVES TRACT "A" (ADDITIONAL RIGHT-OF WAY FOR PRETTY POND ROAD) AS SHOWN AND DEPICTED HEREON TO BE CONVEYED BY SEPARATE INSTRUMENT TO THE PERPETUAL USE OF THE PUBLIC AND PASCO COUNTY, FLORIDA (THE "COUNTY") FOR ANY AND ALL PURPOSES INCIDENTAL THERETO.

2. "OWNER" HEREBY GRANTS, CONVEYS AND DEDICATES TO THE PERPETUAL USE OF THE PUBLIC AND THE CITY OF ZEPHYRHILLS (THE "CITY") ALL UTILITY IMPROVEMENTS AND FACILITIES TOGETHER WITH ANY NECESSARY EASEMENTS LYING WITHIN OR UPON THE LANDS DEPICTED ON THIS PLAT AS "PUBLIC UTILITY EASEMENT," AND FURTHER DOES HEREBY RESERVE UNTO THEMSELVES, THEIR RESPECTIVE HEIRS, SUCCESSORS, ASSIGNS, OR LEGAL REPRESENTATIVES, THE RIGHT TO CONSTRUCT, OPERATE, AND MAINTAIN ALL UTILITY IMPROVEMENTS, OR UTILITIES AND APPURTENANCES LYING WITHIN THE LANDS DEPICTED ON THIS PLAT UNTIL SUCH TIME AS THE OPERATION AND MAINTENANCE OF SAID UTILITY IMPROVEMENTS, FACILITIES, AND APPURTENANCES ARE ASSUMED BY THE "CITY."

3. "OWNER" DOES FURTHER GRANT AND RESERVE UNTO THEMSELVES, ITS SUCCESSORS, ASSIGNS, OR LEGAL REPRESENTATIVES A PERPETUAL EASEMENT OVER AND ACROSS ALL LANDS SHOWN HEREON AS DRAINAGE AND LANDSCAPE AREA FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, REPAIRING AND REPLACING THE DRAINAGE INFRASTRUCTURE, LANDSCAPING AND SECURITY WALLS LYING THEREIN.

4. "OWNER" HEREBY GRANTS, CONVEYS, WARRANTS, AND DEDICATES TO THE "CITY", A NON-EXCLUSIVE FLOW-THROUGH EASEMENT AND REASONABLE RIGHT OF ACCESS TO ENSURE THE FREE FLOW OF WATER FOR GENERAL PUBLIC DRAINAGE PURPOSES OVER, THROUGH, AND UNDER ALL DRAINAGE EASEMENTS OR COMMONLY OWNED PROPERTY SHOWN ON THIS PLAT. IN THE EVENT THE "OWNER" FAILS TO PROPERLY MAINTAIN ANY DRAINAGE EASEMENTS/FACILITIES PREVENTING THE FREE FLOW OF WATER, THE "CITY" SHALL HAVE THE REASONABLE RIGHT, BUT NOT THE OBLIGATION, TO ACCESS AND ENTER UPON ANY DRAINAGE EASEMENT FOR THE PURPOSE OF PERFORMING MAINTENANCE TO ENSURE THE FREE FLOW OF WATER.

5. "OWNER" DOES FURTHER GRANT AND RESERVE UNTO THEMSELVES, ITS SUCCESSORS AND ASSIGNS, THE TITLE TO ANY LANDS OR IMPROVEMENTS DEDICATED TO THE PUBLIC OR TO THE CITY, IF FOR ANY REASON SUCH DEDICATION SHALL BE EITHER VOLUNTARILY VACATED, VOIDED, OR INVALIDATED TO THE EXTENT CONSISTENT WITH S. 177.085(1).

OWNER: WLN ZEPHYRHILLS, LLC, A FLORIDA LIMITED LIABILITY COMPANY

<NAME><TITLE>

WITNESS (SIGN)

WITNESS (PRINT)

WITNESS (SIGN)

WITNESS (PRINT)

ACKNOWLEDGMENT
STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

SWORN TO AND SUBSCRIBED BEFORE ME, BY MEANS OF PHYSICAL PRESENCE, THIS DAY OF 2022, PERSONALLY APPEARED <NAME>, AS <TITLE> OF WLN ZEPHYRHILLS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED AS IDENTIFICATION.

WITNESS MY HAND AND SEAL AT COUNTY, FLORIDA, THE DAY AND YEAR AFORESAID.

MY COMMISSION EXPIRES:

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE

PLAT NOTES

1. "NOTICE" THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL UNDER NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

2. THE COORDINATE VALUES SHOWN HEREON ARE BASED ON THE PASCO COUNTY PRIMARY HORIZONTAL CONTROL NETWORK AND WERE ESTABLISHED TO THIRD ORDER CLASS I ACCURACY AS DEFINED BY THE STANDARDS AND SPECIFICATIONS FOR GEODETIC CONTROL NETWORKS, AS PUBLISHED BY THE FEDERAL GEODETIC COMMITTEE DATED SEPTEMBER 1984 OR LATEST EDITION". (PCLDC 306.10) THE COORDINATES SHOWN TIED TO NATIONAL GEODETIC SURVEY MONUMENT "T40 167" (PID AL8108).

3. BEARINGS SHOWN HEREON ARE GRID BASED ON THE FLORIDA WEST TRANSVERSE MERCATOR STATE PLANE COORDINATE SYSTEM NAD83 DATUM (2007 ADJUSTMENT). THE NORTH RIGHT-OF-WAY LINE OF PRETTY POND ROAD, HAVING A GRID BEARING OF S.89°59'18"W.

4. SUBDIVISION PLATS BY NO MEANS REPRESENT A DETERMINATION ON WHETHER PROPERTIES WILL OR WILL NOT FLOOD. LAND WITHIN THE BOUNDARIES OF THIS PLAT MAY OR MAY NOT BE SUBJECT TO FLOODING; THE CITY OF ZEPHYRHILLS BUILDING DEPARTMENT HAS INFORMATION REGARDING FLOODING AND RESTRICTIONS ON DEVELOPMENT.

5. ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY.

6. IN ADDITION TO THE EXISTING EASEMENTS AS SHOWN HEREON, THE LANDS WITHIN THIS PLAT ARE SUBJECT TO THE FOLLOWING ENCUMBRANCE, SPECIAL WARRANTY DEED RECORDED 11/06/2020 IN OFFICIAL RECORDS BOOK 10212, PAGE 103, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

MORTGAGEE: CONSENT TO DEDICATION

GUARANTY BANK, AS MORTGAGEE UNDER A CERTAIN MORTGAGE, SECURITY AGREEMENT, ASSIGNMENT OF LEASES, ASSIGNMENT OF RENTS, AND FINANCING STATEMENT DATED OCTOBER 29, 2020 AS RECORDED IN OFFICIAL RECORDS BOOK 10212, PAGE 107 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, HEREBY CONSENTS TO AND JOINS IN THE RECORDING OF THIS INSTRUMENT AND THE DEDICATIONS SHOWN HEREON.

<NAME><TITLE>

WITNESS (SIGN)

WITNESS (SIGN)

WITNESS (PRINT)

WITNESS (PRINT)

ACKNOWLEDGEMENT
STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

SWORN TO AND SUBSCRIBED BEFORE ME, BY MEANS OF PHYSICAL PRESENCE, THIS DAY OF 2022, PERSONALLY APPEARED <NAME>, AS <TITLE> OF GUARANTY BANK, WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED AS IDENTIFICATION.

WITNESS MY HAND AND SEAL AT COUNTY, FLORIDA, THE DAY AND YEAR AFORESAID.

MY COMMISSION EXPIRES:

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE

CERTIFICATE OF TITLE
STATE OF FLORIDA)

) SS:

COUNTY OF PASCO)

WE, STEWART TITLE GUARANTY COMPANY, A TITLE COMPANY DULY LICENSED IN THE STATE OF FLORIDA, HAVE COMPLETED A PROPERTY INFORMATION REPORT (PROPERTY INFORMATION REPORT FOR THE FILING OF A SUBDIVISION PLAT, FILE NO. 20000090251A AND, BASED ON SAID REPORT FIND THAT THE TITLE OF THE PROPERTY IS VESTED IN WLN ZEPHYRHILLS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, THAT THE CURRENT TAXES HAVE BEEN PAID, AND THAT THE PROPERTY IS NOT ENCUMBERED BY ANY MORTGAGES, OTHER ENCUMBRANCES OR EASEMENTS OTHER THAN SHOWN PROPERTY INFORMATION REPORT FOR THE FILING OF A SUBDIVISION PLAT. FILE NO. 20000090251A.

THIS THE DAY OF , 2022

STEWART TITLE GUARANTY COMPANY

BY: <NAME>, AUTHORIZED SIGNATORY

REVIEW OF PLAT BY REGISTERED SURVEYOR, CITY OF ZEPHYRHILLS

PURSUANT TO SECTION 177.081(1), FLORIDA STATUTES, I HEREBY CERTIFY THAT I HAVE PERFORMED A LIMITED REVIEW OF THIS PLAT FOR CONFORMITY TO CHAPTER 177, PART I, FLORIDA STATUTES AND THAT THIS PLAT COMPLIES WITH THE TECHNICAL REQUIREMENTS OF SAID CHAPTER, HOWEVER MY REVIEW AND CERTIFICATION DOES NOT INCLUDE COMPUTATION OR FIELD VERIFICATION OF ANY POINTS OR MEASUREMENTS.

SIGNED AND SEALED THIS DAY OF , 2022

PRINTED NAME DAVID G. ARMSTRONG, PSM
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER NO. 4970

CERTIFICATE OF APPROVAL BY CITY COUNCIL

THIS IS TO CERTIFY THAT ON THIS THE DAY OF , 2022, THE FOREGOING PLAT WAS APPROVED BY THE CITY COUNCIL OF ZEPHYRHILLS, FLORIDA.

KENNETH BURGESS, PRESIDENT

ATTEST:

, CITY MANAGER

CERTIFICATE OF THE CLERK OF CIRCUIT COURT

I HEREBY CERTIFY THAT THE FOREGOING PLAT HAS BEEN FILED IN THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA ON THIS THE DAY OF , 2022, IN PLAT BOOK , PAGE(S).

PAULA S. O'NEIL, PASCO COUNTY CLERK & COMPTROLLER

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS, THE UNDERSIGNED, BEING CURRENTLY LICENSED BY THE STATE OF FLORIDA AS A PROFESSIONAL SURVEYOR AND MAPPER, DOES HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECTION AND SUPERVISION, AND SAID PLAT COMPLIES WITH ALL SURVEY REQUIREMENTS OF FLORIDA STATUTES, CHAPTER 177, PART I.

SIGNED AND SEALED THIS DAY OF , 2022.

CHARLES M. ARNETT, PSM
FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. 6884
FOR GEOPOINT SURVEYING, INC.
LICENSE NO. LB7768

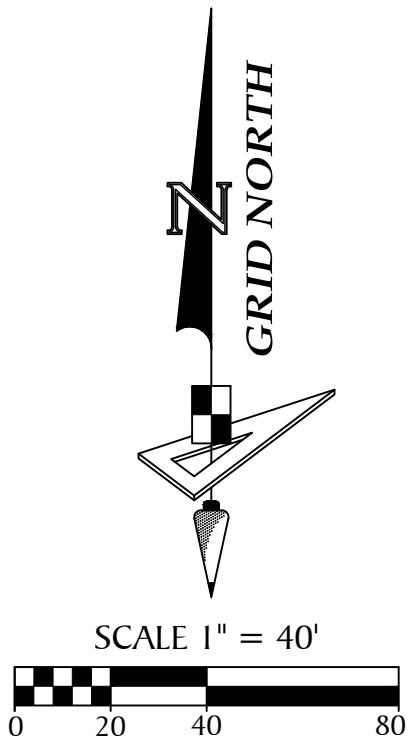
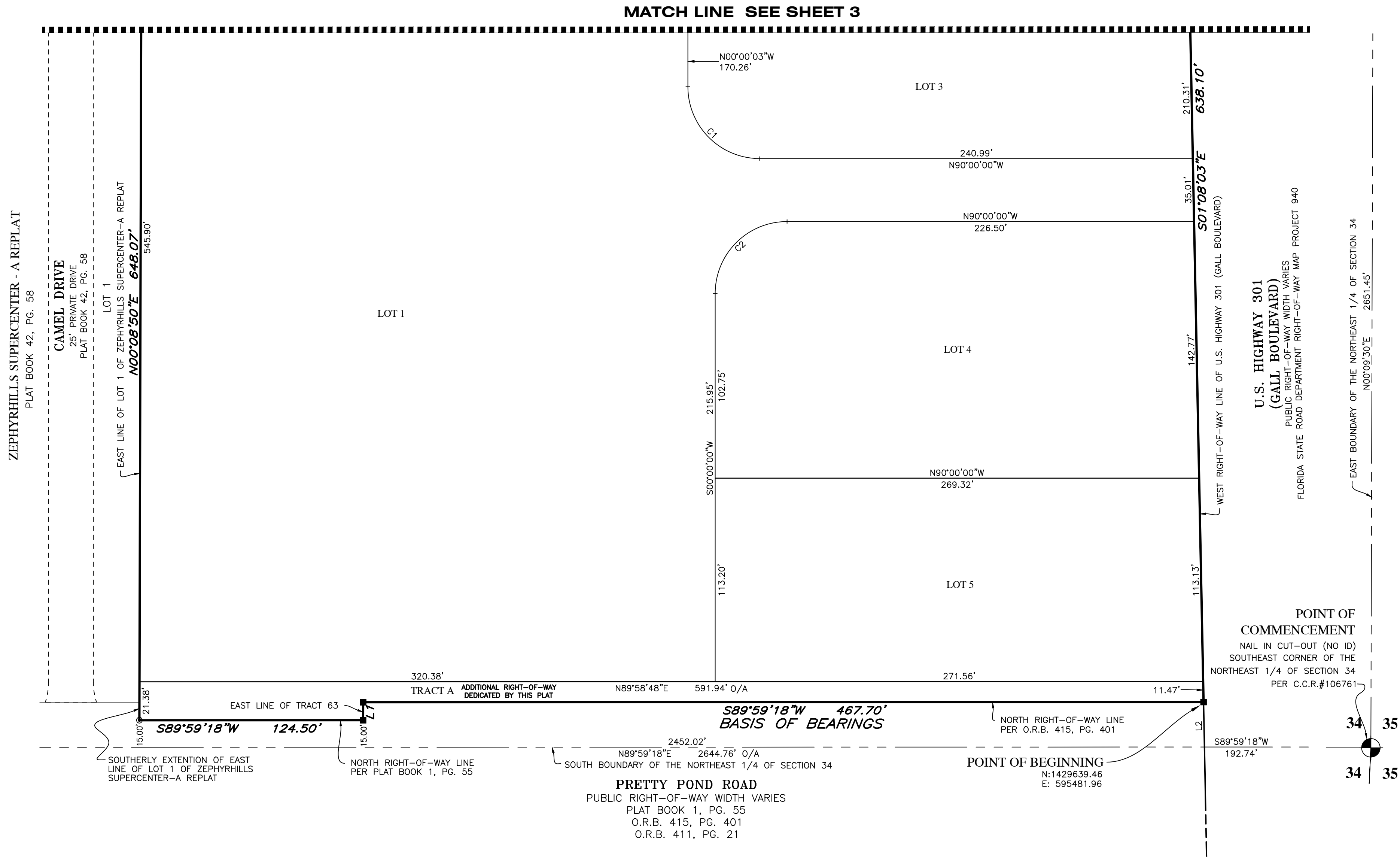


213 Hobbs Street
Tampa, Florida 33619
www.geopointsurvey.com
Phone: (813) 248-8888
Fax: (813) 248-2266
Licensed Business Number LB 7768

MARKET AT ZEPHYRHILLS

A REPLAT OF A PORTION OF TRACTS 49, 50, 63 AND ALL OF TRACT 64 OF ZEPHYRHILLS COLONY COMPANY LANDS AS RECORDED IN PLAT BOOK 1, PAGE 55
LYING WITHIN SECTION 34, TOWNSHIP 25 SOUTH, RANGE 21 EAST, CITY OF ZEPHYRHILLS, PASCO COUNTY, FLORIDA

PLAT BOOK PAGE NO.



CURVE DATA TABLE					
NO.	RADIUS	C/A	ARC	CHORD	C/B
C1	40.00'	89°59'57"	62.83'	56.57'	N45°00'02"W
C2	40.00'	90°00'00"	62.83'	56.57'	S45°00'00"W

LINE DATA TABLE		
NO.	BEARING	LENGTH
L1	S 00°08'50" W	10.00'
L2	N 01°08'03" W	25.00'

LEGEND:

■ ----- SET (P.R.M.) PERMANENT REFERENCE MONUMENT - 4"x4" CONCRETE MONUMENT WITH DISK LB7768

⊙ ----- SET (P.R.M.) PERMANENT REFERENCE MONUMENT - MAG NAIL AND DISK LB7768

O.R.B. ----- OFFICIAL RECORDS BOOK

PG. ----- PAGE

P.U.E. ----- PUBLIC UTILITY EASEMENT

O/A ----- OVERALL

C.C.R. ----- CERTIFIED CORNER RECORD

PARALLEL OFFSET NOTE: EASEMENTS, BUFFERS AND OTHER SUCH LABELS AND DIMENSIONS OF A PARALLEL NATURE AS SHOWN HEREON AND INDICATED TO THE NEAREST FOOT (IE: 5' UTILITY EASEMENT) ARE ASSUMED TO BE THE SAME DIMENSION EXTENDED TO THE NEAREST HUNDREDTH OF A FOOT WITH NO GREATER OR LESSER VALUE (IE: 5' = 5.00') (IE: 7.5' = 7.50')

A 1/2 INCH DIAMETER IRON PIPE WITH CAP No. LB7768 WILL BE SET AT EACH LOT CORNER, POINTS OF INTERSECTION, AND CHANGES OF DIRECTION AS REQUIRED BY CHAPTER 177 OF THE FLORIDA STATUTES WITHIN THE TIME ALLOTTED IN 177.091(9), UNLESS PRIOR MONUMENTATION OF THE LOT CORNER IS FOUND IN PLACE.

GeoPoint
Surveying, Inc.

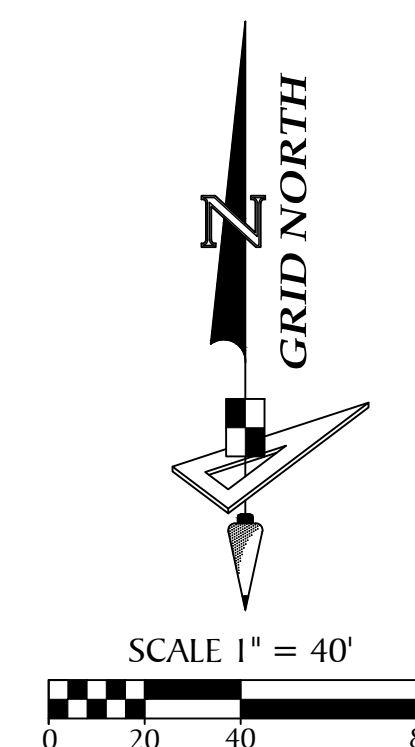
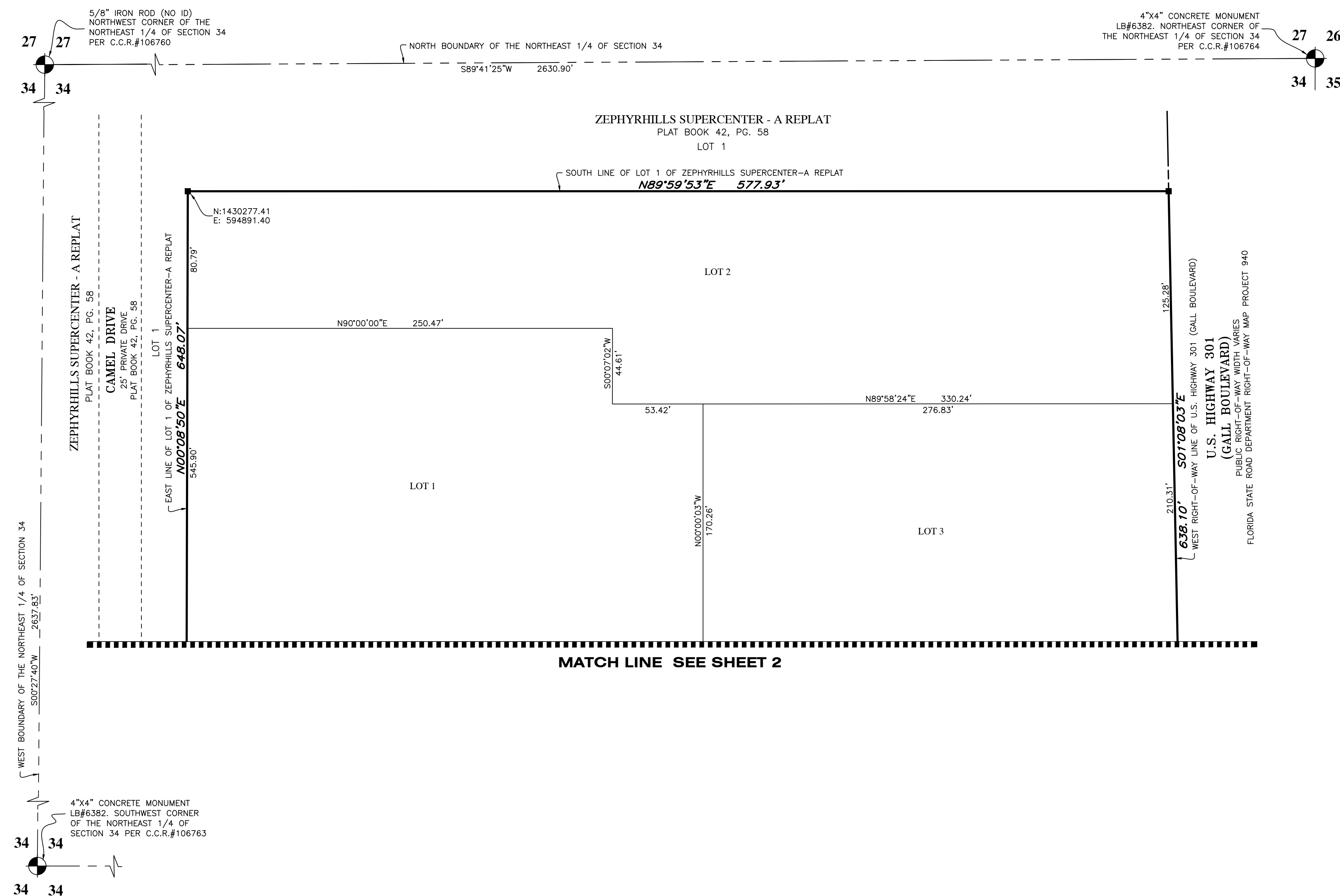
213 Hobbs Street
Tampa, Florida 33619
www.geopointsurvey.com

Phone: (813) 248-8888
Fax: (813) 248-2266
Licensed Business Number LB 7768

SHEET 2 OF 3 SHEETS

MARKET AT ZEPHYRHILLS

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LEGEND:

■ ----- SET (P.R.M.) PERMANENT REFERENCE
MONUMENT - 4"x4" CONCRETE MONUMENT
WITH DISK LB7768

⊙ ----- SET (P.R.M.) PERMANENT REFERENCE
MONUMENT - MAG NAIL AND DISK LB7768

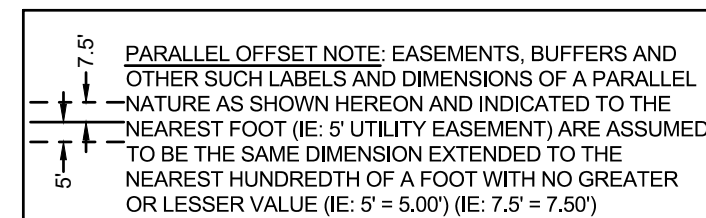
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