



**SITE PLAN REVIEW COMMITTEE MEETING
ZEPHYRHILLS, FLORIDA**

**Tuesday, November 15, 2022
9:30 AM**

**Zephyrhills
City Hall**

**Council
Chambers**

Call to Order –

1. Business Items

1.1 SPR-0035-21_Park Place Boat & RV Storage

Site Development Plans submitted by Park Place Boat & RV Storage, LLC for +/-40,000 square feet of improvements related to recreational vehicle storage at 4001 & 3971 Trump Place.

1. Civil Set_ParkPlace Boat&RV

ADJOURN

*** PLEASE NOTE: This is a Public Meeting. Should any interested party seek to appeal any decision made by the Council with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S. 286.0105. If you are a person with a disability which requires reasonable accommodation in order to participate in this meeting, please contact the City Clerk at 813/780-0000 at least 48 hours prior to the public hearing. A.D.A. and F.S. 286.26.**

STAFF REPORT

To:

From:

RE: **SPR-0035-21_Park Place Boat & RV Storage**
Site Development Plans submitted by Park Place Boat & RV Storage, LLC for +/-40,000
square feet of improvements related to recreational vehicle storage at 4001 & 3971 Trump
Place.

Date: **November 15, 2022**

I. BACKGROUND & INFORMATION

- A. History | Application Summary
- B. Site Information
 - 1. Applicant/Owner:
 - 2. File #:
 - 3. Historic Designation:
 - 4. Acreage:
 - 5. Existing Land Use:
 - 6. Current FLU:
 - 7. Proposed FLU:
 - 8. Existing Zoning:
 - 9. Current Zoning:

II. DATA & ANALYSIS

- A. Character Analysis
- B. Compatibility Analysis
- C. Natural & Historic Resources Analysis
- D. Public Service Analysis & Impact
- E. Comprehensive Plan Consistency

III. RECOMMENDATION

- A. Staff / Site Plan Review Committee
- B. Historic Preservation Board
- C. Planning Commission
- D. Board of Adjustment

PARK PLACE BOAT & RV STORAGE

3971,4001 TRUMP PLACE, ZEPHYRHILLS, FL 33542

SITE DATA TABLE

FLOOD_ZONE: FLOOD_ZONE "X","AE","A" ACCORDING TO F.I.R.M. COMMUNITY PANEL 12101C0268F, DATED 9/26/2014.

PROJECT SUMMARY & SITE DATA:	EXISTING	PROPOSED
TOTAL BUILDING AREA	0 SF (0%)	83,600 SF (26%)
TOTAL GROSS FLOOR AREA	0 SF (0%)	83,600 SF (26%)
TOTAL ASPHALT/CONC AREA	0 SF (0%)	120,835 SF (37%)
TOTAL IMPERVIOUS AREA	0 SF (0%)	204,435 SF (63%)
TOTAL GREEN AREA	322,890 (100%)	118,455 SF (37%)
TOTAL SITE AREA	322,890 SF/7.41 AC.	

ZONING: LI LAND_USE: INDUSTRIAL PRESENT_USE: VACANT INDUSTRIAL PROPOSED_USE: MANUFACTURING W/OFFICE

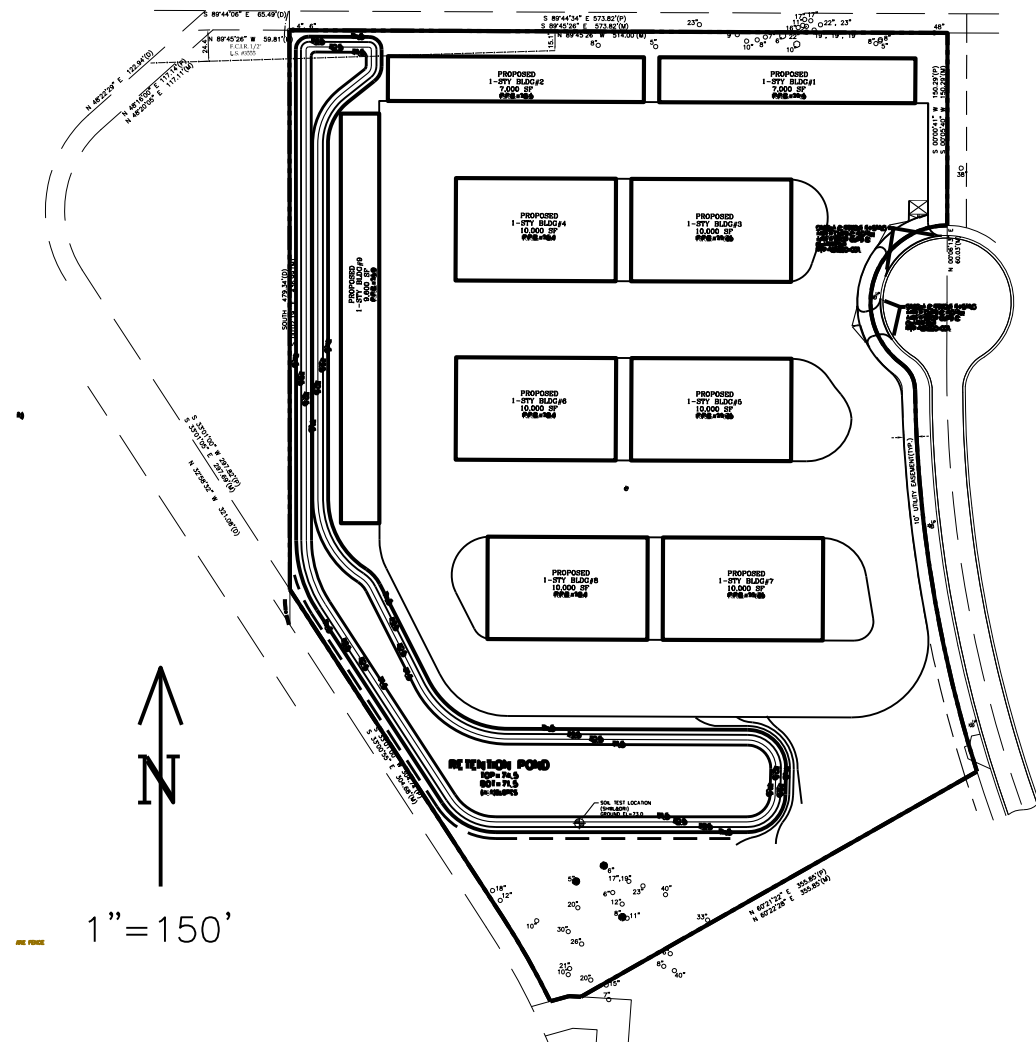
LOT REQUIREMENTS:	REQUIRED	PROPOSED
LOT AREA	NONE	322,890 SF
LOT WIDTH	75 FT	514 FT
LOT DEPTH	100 FT	740 FT

SETBACK REQUIREMENTS:		
FRONT(TRUMP PLACE)	50 FT	63 FT
SIDE(NORTH)	50 FT	20 FT
SIDE(SOUTHWEST)	5 FT	108.2 FT
REAR(WEST)	50 FT	40 FT

MAXIMUM LOT COVERAGE (ISR):	0.85	0.56
MAXIMUM FLOOR/AREA RATIO (FAR):	0.50	0.20
MAXIMUM BUILDING HEIGHT:	30 FT OR 2 STORY	30 FT

NUMBER OF PARKING SPACES:		
OFFICE:		
(1 SP FOR PER 200SF OF GFA)		
3000 SF/200	15 SP	16 SP
(1 SP PER 2 EMPLOYEE ON COMBINED LARGEST & 2ND LARGEST SHIFT)		
16 EMPLOYEE/2 SP	8 SP	8 SP
TOTAL	23 SP	24 SP
NUMBER OF H.C. PARKING SPACES: (1SP-25SP) =	1 SP	1 SP

SEWER_SERVICE_PROVIDER: CITY OF ZEPHYRHILLS UTILITIES
WATER_SERVICE_PROVIDER: CITY OF ZEPHYRHILLS UTILITIES
ELECTRIC_SERVICE_PROVIDER: DUKE ENERGY
FIRE_SERVICE_PROVIDER: CITY OF ZEPHYRHILLS FIRE & RESCUE
SOLID_WASTE: CITY OF ZEPHYRHILLS PUBLIC WORKS



SECTION 19, TOWNSHIP 26S., RANGE 22E.
PARCEL ID#: 19-26-22-0010-00000-0120
PARCEL ID#: 19-26-22-0010-00000-0110

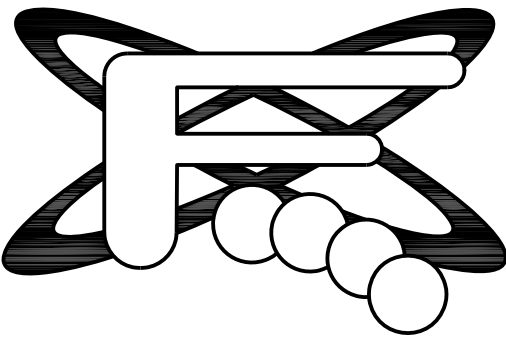
CIVIL CONSTRUCTION PLANS

PARK PLACE BOAT & RV STORAGE

PREPARED BY:

FRONTIER ENGINEERING, INC.

COMMERCIAL · MUNICIPAL · RESIDENTIAL
ST. PETERSBURG · TAMPA



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION

(AS REQUESTED)

LOT 11, PARK PLACE CENTER SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 65, PAGES 77 THROUGH 80 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

LESS THAT PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL OF LAND:

COMMENCE AT THE NORTHWEST CORNER OF TRACT "LB2" FOR THE POINT OF BEGINNING, THENCE RUN S 89°44'06" E, ALONG THE NORTH PLAT BOUNDARY, A DISTANCE OF 65.49 FEET; THENCE RUN SOUTH 479.34 FEET; THENCE RUN N 32°58'32" W, A DISTANCE OF 321.08 FEET TO A CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 100.00 FEET AN ARC DISTANCE OF 141.87 FEET, A CHORD BEARING OF N 07°41'18" E, A CHORD DISTANCE OF 129.79 FEET TO A POINT OF TANGENCY; THENCE RUN N 48°22'29" E, A DISTANCE OF 122.94 FEET T TO THE POINT OF BEGINNING.

TOGETHER WITH:

LOT 12, PARK PLACE CENTER SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 65, PAGES 77 THROUGH 80 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

PROFESSIONAL TEAM

PROPERTY_OWNER: K&L FAMILY INVESTMENTS LLC & MICHAEL P. CORREIA
37545 SKY RIDGE CIR
DADE CITY, FL 33525
PH: (813) 997-0636
Email: sunstatedaluminum@juno.com

CIVIL_ENGINEER: FRONTIER ENGINEERING, INC.
P.O. BOX 4444
TAMPA, FL 33677
PH: (813) 251-0169
FX: (813) 251-0179
Email: frontierengineering@yahoo.com

LANDSCAPE_ARCHITECT: COPLEY DESIGN ASSOCIATES, INC
2230 HUNTING VALLEY LN,
STREETSBORO, OH 44241
PH: (330) 474-7776
Email: copleydesign@gmail.com

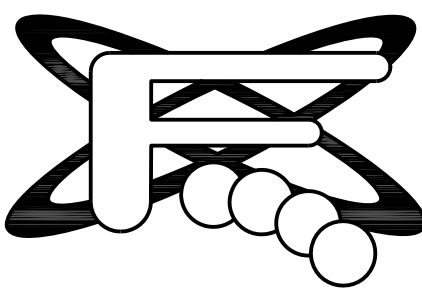
SURVEYOR: CROW & ASSOCIATES, INC.
2004 THONOTOSASSA RD., STE #102
PLANT CITY, FL 33563
PH: (813) 754-0505
Email: crowsurveying@gmail.com



AERIAL MAP
N.T.S.

CIVIL PLAN INDEX:

SHEET#	TITLE
COVER	COVER PAGE
1 OF 7	SITE PLAN
2 OF 7	GRADING & DRAINAGE/C.S.W.M. PLAN
3 OF 7	UTILITY PLAN
4 OF 7	EXISTING CONDITIONS/DEMO PLAN
5 OF 7	NOTES & SPECIFICATIONS
6 OF 7	DETAILS
7 OF 7	NPDES/SWPP PLAN
L1	LANDSCAPE DEVELOPMENT PLAN



P.O.BOX 4444
TAMPA, FL 33677
PH: (813) 251-0169
FAX: (813) 251-0179
frontierengineering@yahoo.com

FRONTIER ENGINEERING, INC.

COMMERCIAL · MUNICIPAL · RESIDENTIAL
ST. PETERSBURG · TAMPA

PARK PLACE BOAT & RV STORAGE
COVER SHEET

TIMOTHY J. HEALEY

FLORIDA ENGINEER'S REGISTRATION NO. 53661

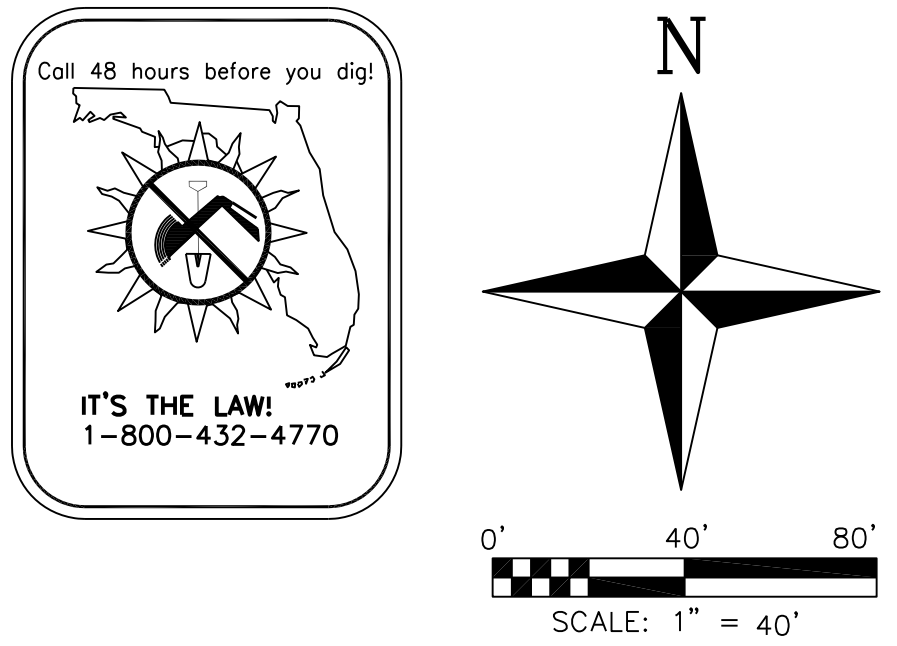
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CITY OF ZEPHYRHILLS, FLORIDA

REV.#	DATE	REVISION	BY
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5			
4			
3			
2			
1			
DATE	6/27/22	JOB #	19-29
SCALE:	1" = 30'		
SHEET	#	COVOF	

CURVE DATA					
CURVE	RADIUS	ARC LENGTH	CURVE LENGTH	CHORD BEARING	DELTA ANGLE
C-7(M)	85.00'	120.59'	110.73'	S 07°37'30" W	81°17'00"
C-7(P)	85.00'	120.60'	110.74'	S 07°35'45" W	81°17'41"
C-8(P)	60.00'	150.62'	141.07'	S 18°05'45" W	134°59'52"
C-9(P)	60.00'	150.62'	141.07'	S 18°05'13" W	134°59'18"
C-10(P)	25.00'	23.13'	22.31'	N 27°19'09" W	53°00'05"
C-11(P)	25.00'	23.14'	22.32'	N 27°27'37" W	53°01'37"
C-13(P)	103.93'	303.40'	302.32'	S 09°10'52" E	16°43'33"
C-13(M)	103.93'	303.41'	302.33'	S 09°11'39" E	16°43'34"
C-13(P)	615.00'	76.09'	76.04'	N 08°28'29" E	70°05'11"
C-53(M)	615.00'	76.09'	76.04'	N 08°29'42" W	70°05'21"
C-100(P)	100.00'	141.24'	129.79'	S 07°41'18" W	80°55'50"
C-100(P)	100.00'	141.87'	130.27'	S 07°37'30" W	-----

LINE	BEARING	DISTANCE
L-1(P)	N 74°10'40" E	15.22'
L-1(M)	N 74°19'44" E	15.05'
L-2(P)	S 86°29'34" E	9.30'
L-2(M)	S 87°17'10" E	9.34'



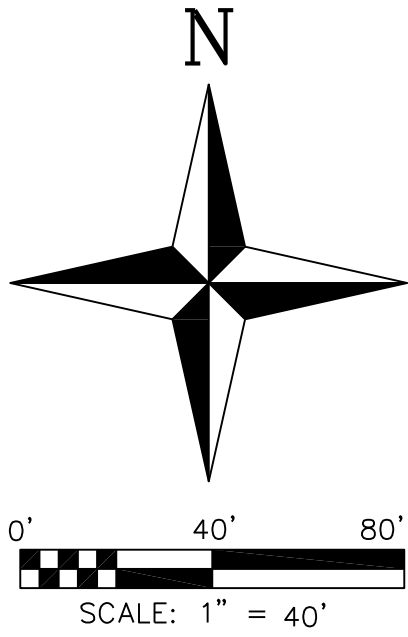
PROPOSED LEGEND

	DIRECTION OF FLOW
	EXISTING ELEVATION
	PROPOSED ELEVATION
NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)	
	SILT FENCE
	6" TALL PVC FENCE
	6" HIGH FDOT FENCE VINYL COATED (BLACK)
	W/ BARBED WIRE
	CEMENT BAG RIP-RAP PAD
	FILTER SOCK
	NUMBER OF PROPOSED PARKING SPACES
	PROTECTIVE TREE BARRICADE
	REMOVE EXISTING TREE

PAVING LEGEND

	PROPOSED CONCRETE
	PROPOSED COMPACTED GRAVEL

		FRONTIER ENGINEERING, INC. COMMERCIAL · MUNICIPAL · RESIDENTIAL ST. PETERSBURG · TAMPA		P.O. BOX 4444 TAMPA, FL 33677 PH: (813) 251-0169 FAX: (813) 251-0179 frontierengineering@yahoo.com	
PARK PLACE BOAT & RV STORAGE SITE PLAN		DESIGN: IB DRAWN: IB CHECKED: TJH		TIMOTHY J. HEALEY	
CITY OF ZEPHYRHILLS, FLORIDA		FLORIDA ENGINEER'S REGISTRATION NO. 53661			
9					
8					
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DATE: 6/27/22					
JOB #:	21				
SCALE: 1" = 40'					
SHEET #:	1	OF	7		



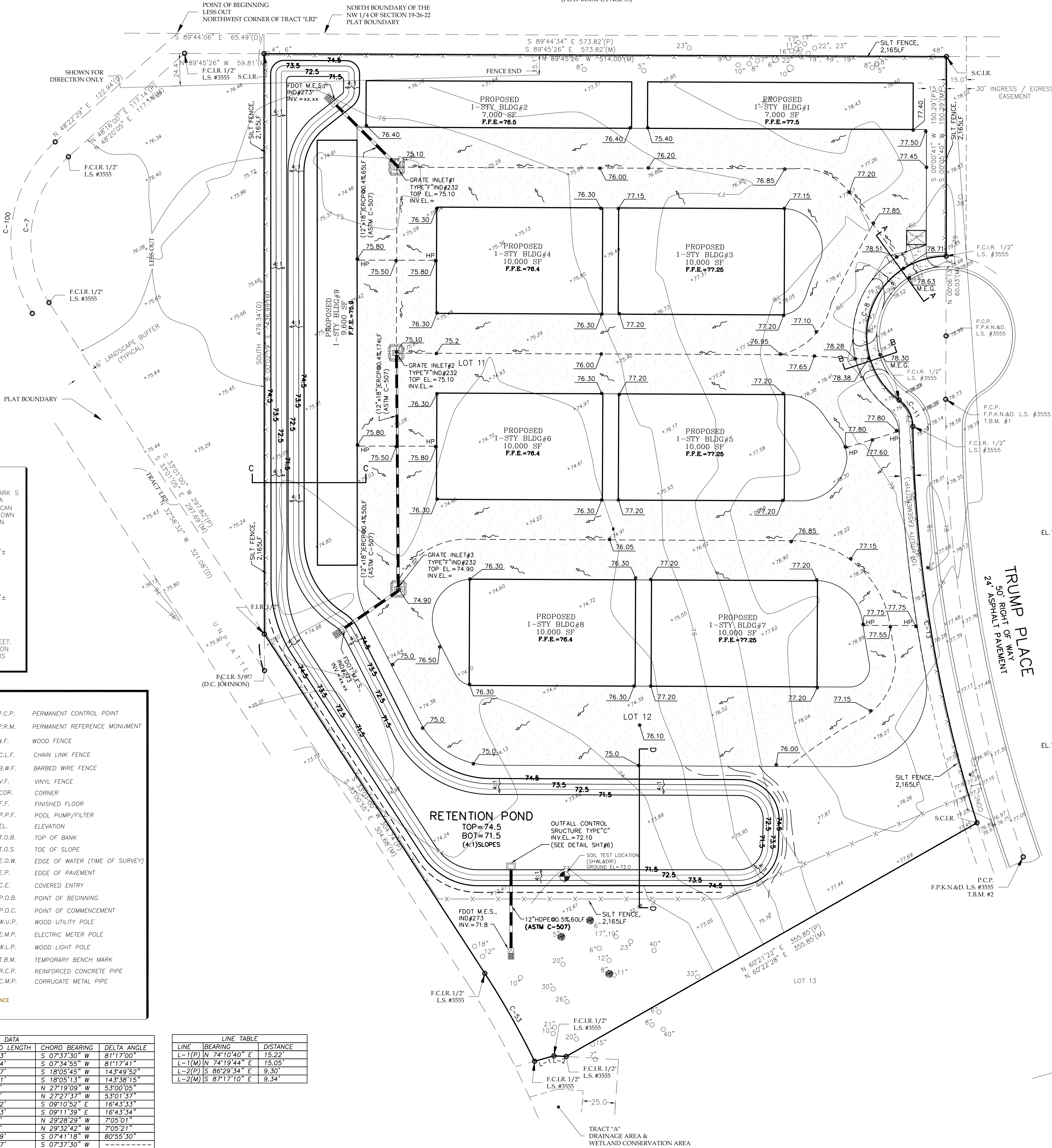
EXTREE LEGEND:
● Camphor Tree (4) ● Oak Tree (74)
● Cypress Tree (3) ● Sycamore Tree (1)

BENCHMARKS:
ELEVATIONS SHOWN HEREON WERE BASED ON NATIONAL GEODETIC SURVEY BENCH MARK S 682, PID DK5507, SAID BENCH MARK HAVING A PUBLISHED ELEVATION OF 75.20' NORTH AMERICAN VERTICAL DATUM OF 1988. ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
TBM #1:
STATION IS A P.K. NAIL & DISK LOCATED 20.5'± NORTH AND 34.8'± EAST OF THE SOUTHEAST CORNER OF LOT 12 DESCRIBED HEREON. ELEVATION: 78.79' (NAVD 1988)
TBM #2:
STATION IS A P.K. NAIL & DISK LOCATED 25.6'± NORTH AND 34.8'± EAST OF THE SOUTHEAST CORNER OF LOT 12 DESCRIBED HEREON. ELEVATION: 76.87' (NAVD 1988)
NOTES:
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2. THE TEMPORARY BENCHMARKS NOTED HEREON ARE NOT FOR PUBLIC USE, AND REFER TO THIS MAP ONLY.

LEGEND:			
F.I.P.	FOUND IRON PIPE	P.C.P.	PERMANENT CONTROL POINT
F.C.I.P.	FOUND CAPPED IRON PIPE	P.R.M.	PERMANENT REFERENCE MONUMENT
F.I.R.	FOUND IRON ROD	W.F.	WOOD FENCE
F.C.I.R.	FOUND CAPPED IRON ROD	C.L.F.	CHAIN LINK FENCE
F.C.M.	FOUND CONCRETE MONUMENT	B.W.F.	BARBED WIRE FENCE
S.C.I.R.	SET CAPPED IRON ROD 1/2"	V.F.	VINYL FENCE
PSM#5761		COR.	CORNER
SMN&D	SET MAG NAIL & DISK	F.F.	FINISHED FLOOR
P.S.M.#5761		P.P.F.	POOL PUMP/FILTER
L.B.	LICENSED BUSINESS	EL.	ELEVATION
P.S.M.	PROFESSIONAL SURVEYOR	T.O.B.	TOP OF BANK
AND MAPPER		T.O.S.	TOE OF SLOPE
FPKN&D	FOUND PK NAIL & DISK	E.O.W.	EDGE OF WATER (TIME OF SURVEY)
F.R.R.S.	FOUND RAILROAD SPIKE	E.P.	EDGE OF PAVEMENT
D	DEED	C.E.	COVERED ENTRY
P	PLAT	P.O.B.	POINT OF BEGINNING
F	FIELD	P.O.C.	POINT OF COMMENCEMENT
C	CALCULATED	W.U.P.	WOOD UTILITY POLE
CONC.	CONCRETE	E.M.P.	ELECTRIC METER POLE
A/C	AIR CONDITIONER	W.L.P.	WOOD LIGHT POLE
C.B.	CONCRETE BLOCK	T.B.M.	TEMPORARY BENCH MARK
C.L.P.	CONCRETE LIGHT POLE	R.C.P.	REINFORCED CONCRETE PIPE
@	LIGHT POLE ELECTRIC BOX	C.M.P.	CORRUGATE METAL PIPE
	EXISTING ELEVATION		
	BARBED WIRE FENCE		
	EASEMENT		
	PLAT LINE		

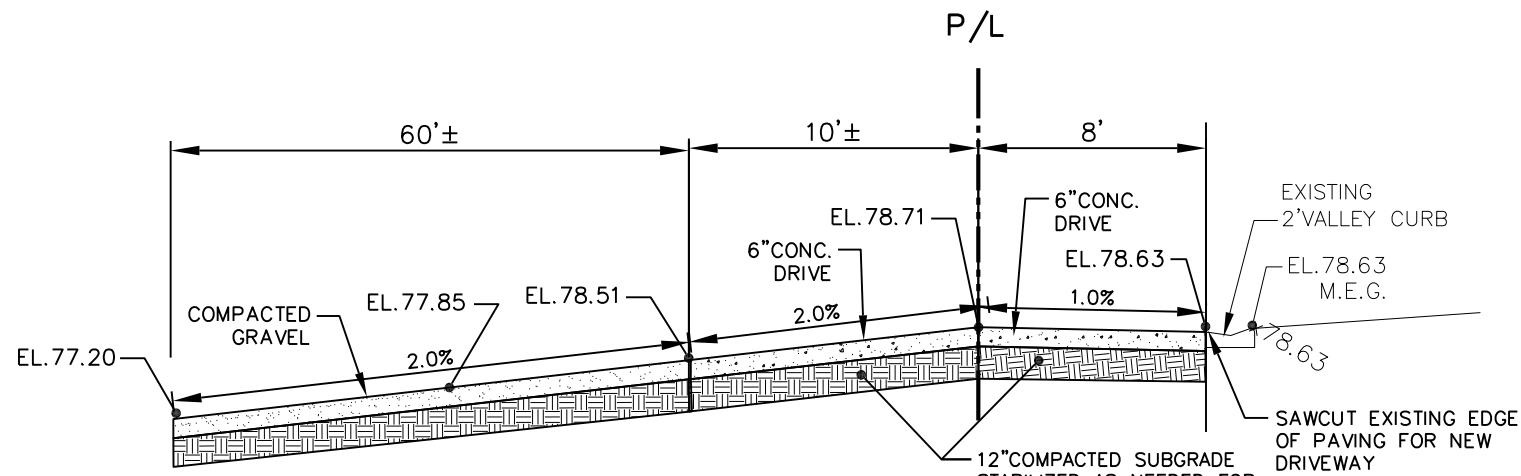
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LINE TABLE		
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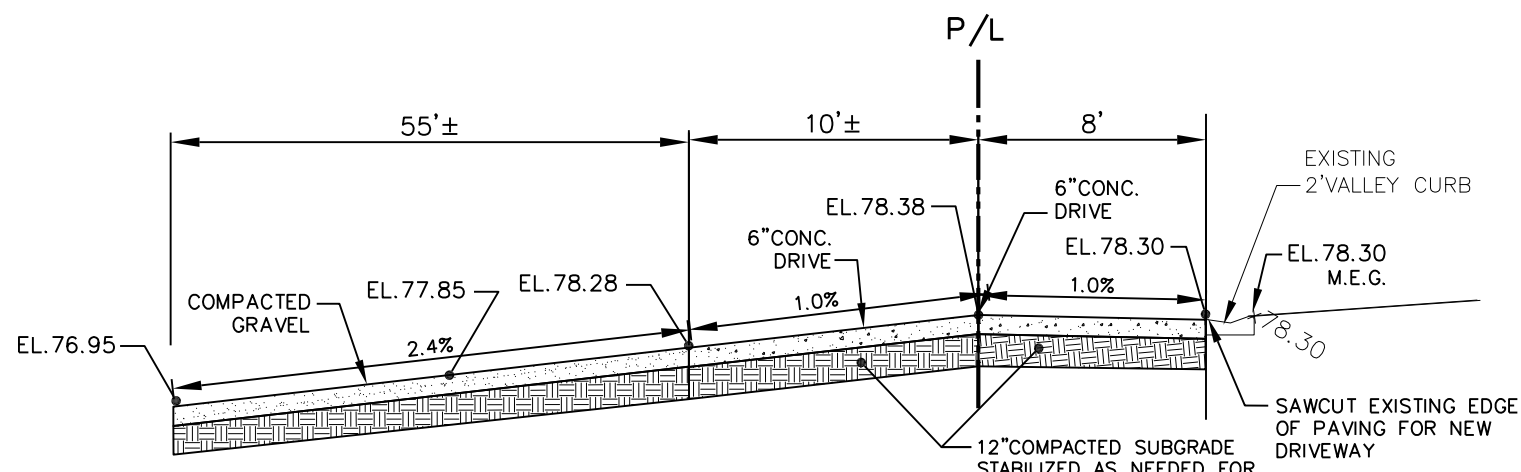
PROPOSED LEGEND	
	DIRECTION OF FLOW
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	FILTER SOCK
	NUMBER OF PROPOSED PARKING SPACES
	PROTECTIVE TREE BARRICADE
	REMOVE EXISTING TREE

PAVING LEGEND	
	PROPOSED CONCRETE
	PROPOSED COMPACTED GRAVEL



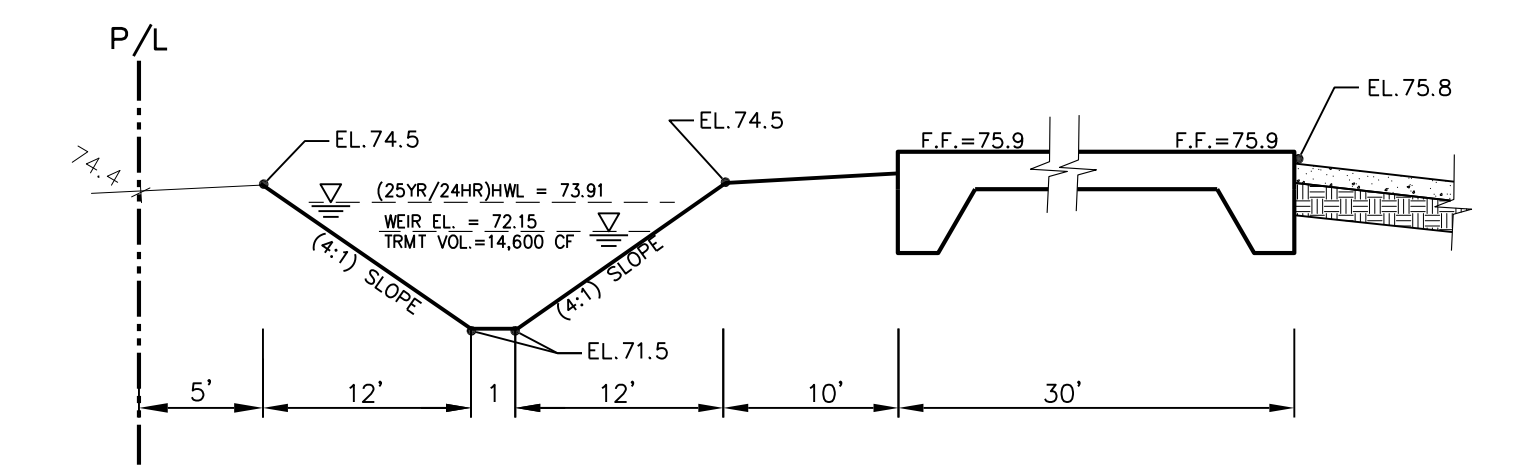
NOTES:
1. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY ARE TO BE SOODED.
2. DRIVEWAY IS TO BE CONSTRUCTED PER CITY OF ZEPHYRHILLS STANDARDS.
3. M.O.T. PER CITY OF ZEPHYRHILLS STANDARDS.

SECTION A-A (DRIVEWAY CENTERLINE PROFILE)
N.T.S.

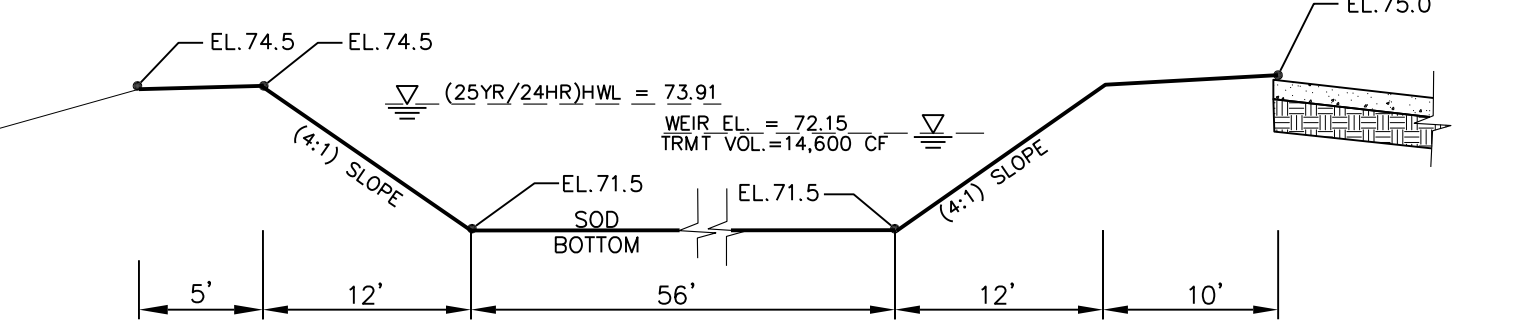


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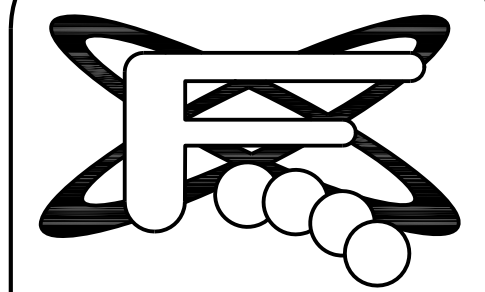
SECTION B-B (DRIVEWAY CENTERLINE PROFILE)
N.T.S.



SECTION C-C
N.T.S.



SECTION D-D
N.T.S.



P.O. BOX 4444
TAMPA, FL 33677
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FAX: (813) 251-0179
frontierengineering@yahoo.com

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COMMERCIAL · MUNICIPAL · RESIDENTIAL
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TIMOTHY J. HEALEY
DESIGN: IB
DRAWN: IB
CHECKED: TJH

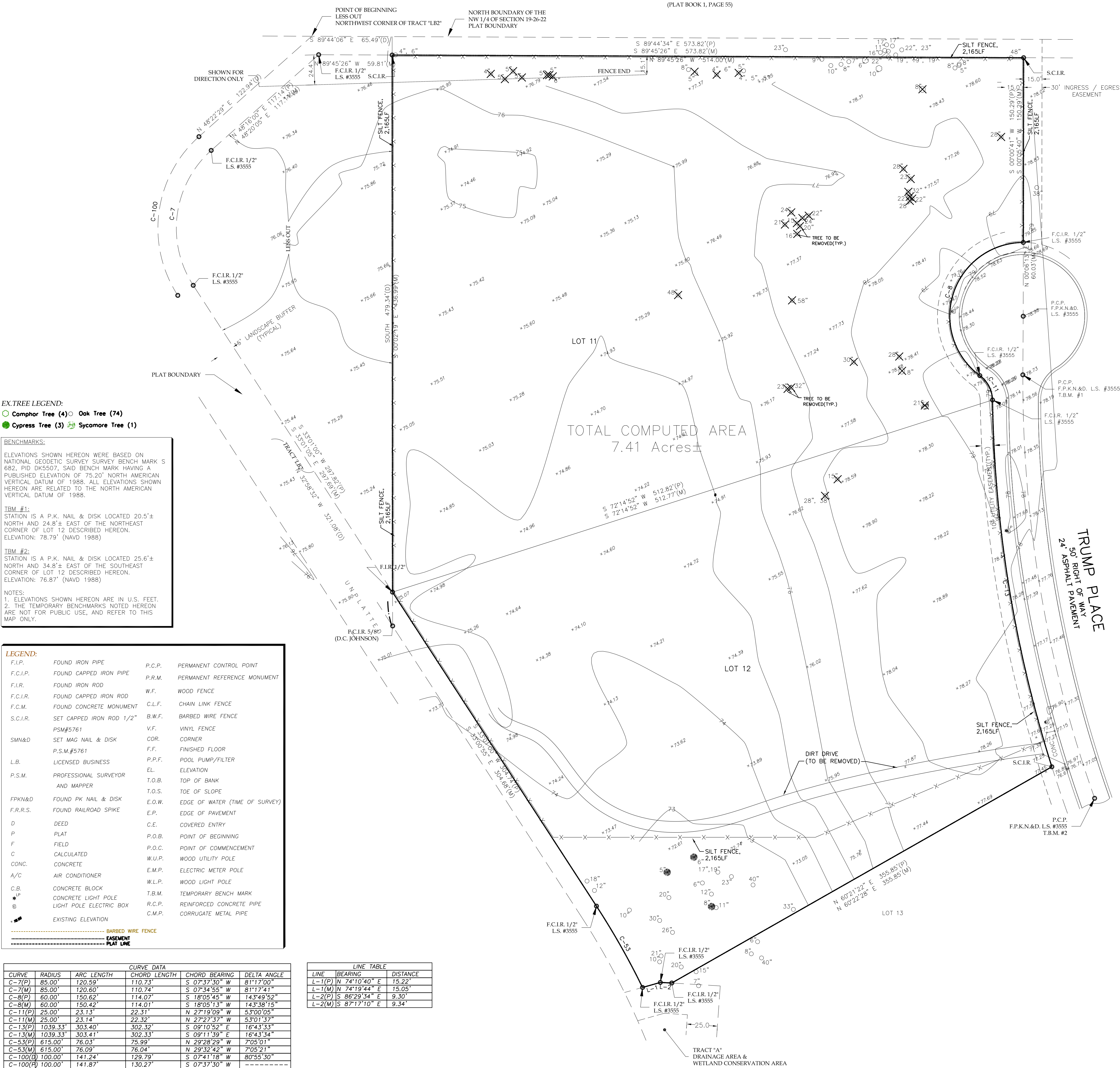
**PARK PLACE BOAT & RV STORAGE
GRADING & DRAINAGE PLAN**

CITY OF ZEPHYRHILLS, FLORIDA

FLORIDA ENGINEER'S REGISTRATION NO. 53661

REV.	DATE	REVISION	BY
1	6/27/22		
2			
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7			
8			

DATE: 6/27/22 JOB #: 21-16
SCALE: 1" = 40'
SHEET #: 2 OF 7



EXTREE LEGEND:
○ Camphor Tree (4) ○ Oak Tree (74)
● Cypress Tree (3) ● Sycamore Tree (1)

BENCHMARKS:

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TBM #1:
STATION IS A P.K. NAIL & DISK LOCATED 20.5'± NORTH AND 34.8'± EAST OF THE NORTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 76.79' (NAVD 1988)

TBM #2:
STATION IS A P.K. NAIL & DISK LOCATED 25.6'± NORTH AND 34.8'± EAST OF THE SOUTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 76.87' (NAVD 1988)

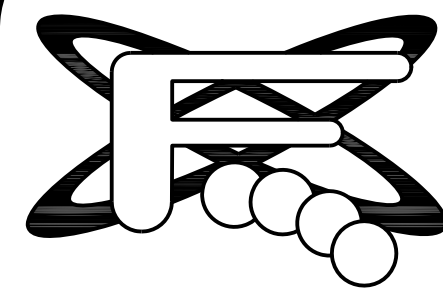
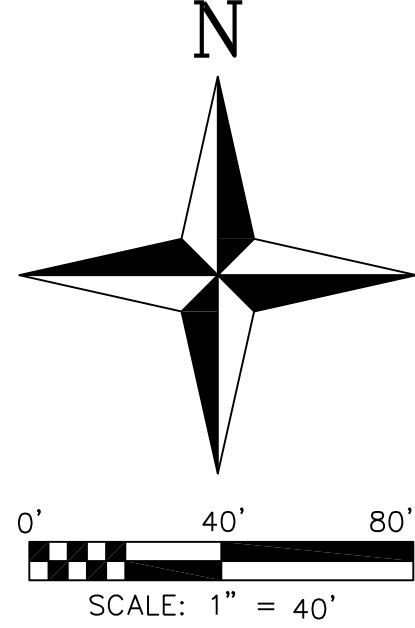
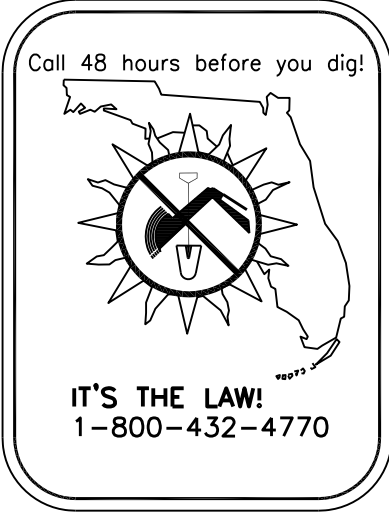
NOTES:
1. ELEVATIONS SHOWN HEREON ARE IN U.S. FEET.
2. THE TEMPORARY BENCHMARKS NOTED HEREON ARE NOT FOR PUBLIC USE, AND REFER TO THIS MAP ONLY.

LEGEND:

F.I.P.	FOUND IRON PIPE	P.C.P.	PERMANENT CONTROL POINT
F.C.I.P.	FOUND CAPPED IRON PIPE	P.R.M.	PERMANENT REFERENCE MONUMENT
F.I.R.	FOUND IRON ROD	W.F.	WOOD FENCE
F.C.I.R.	FOUND CAPPED IRON ROD	C.L.F.	CHAIN LINK FENCE
F.C.M.	FOUND CONCRETE MONUMENT	B.W.F.	BARBED WIRE FENCE
S.C.I.R.	SET CAPPED IRON ROD 1/2"	V.F.	VINYL FENCE
PSM#5761		COR.	CORNER
SMN&D	SET MAG NAIL & DISK	F.F.	FINISHED FLOOR
P.S.M.#5761		P.P.F.	POOL PUMP/FILTER
L.B.	LICENSED BUSINESS	EL.	ELEVATION
P.S.M.	PROFESSIONAL SURVEYOR AND MAPPER	T.O.B.	TOP OF BANK
FPKN&D	FOUND PK NAIL & DISK	T.O.S.	TOE OF SLOPE
F.R.R.S.	FOUND RAILROAD SPIKE	E.O.W.	EDGE OF WATER (TIME OF SURVEY)
D	DEED	E.P.	EDGE OF PAVEMENT
P	PLAT	C.E.	COVERED ENTRY
F	FIELD	P.O.B.	POINT OF BEGINNING
C	CALCULATED	P.O.C.	POINT OF COMMENCEMENT
CONC.	CONCRETE	W.U.P.	WOOD UTILITY POLE
A/C	AIR CONDITIONER	E.M.P.	ELECTRIC METER POLE
C.B.	CONCRETE BLOCK	W.L.P.	WOOD LIGHT POLE
LP	CONCRETE LIGHT POLE	T.B.M.	TEMPORARY BENCH MARK
S	LIGHT POLE ELECTRIC BOX	R.C.P.	REINFORCED CONCRETE PIPE
MP	EXISTING ELEVATION	C.M.P.	CORRUGATE METAL PIPE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C-7(P)	85.00'	120.59'	110.73'	S 07°37'30" W	81°17'00"
C-7(M)	85.00'	120.60'	110.74'	S 07°34'55" W	81°17'41"
C-8(P)	60.00'	150.62'	114.07'	S 18°05'45" W	143°49'52"
C-8(M)	60.00'	150.42'	114.01'	S 18°05'13" W	143°38'15"
C-11(P)	25.00'	23.13'	22.31'	N 27°19'09" W	53°00'05"
C-11(M)	25.00'	23.14'	22.32'	N 27°27'37" W	53°01'37"
C-13(P)	1039.33'	303.40'	302.32'	S 09°10'52" E	16°43'33"
C-13(M)	1039.33'	303.41'	302.33'	S 09°11'39" E	16°43'34"
C-53(P)	615.00'	76.03'	75.99'	N 29°28'29" W	7°05'01"
C-53(M)	615.00'	76.09'	76.04'	N 29°32'42" W	7°05'21"
C-100(P)	100.00'	141.24'	129.79'	S 07°41'18" W	80°55'30"
C-100(M)	100.00'	141.87'	130.27'	S 07°37'30" W	-----

LINE	BEARING	DISTANCE
L-1(P)	N 74°10'40" E	15.22'
L-1(M)	N 74°19'44" E	15.05'
L-2(P)	S 86°29'34" E	9.30'
L-2(M)	S 87°17'10" E	9.34'



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FRONTIER ENGINEERING, INC.
COMMERCIAL · MUNICIPAL · RESIDENTIAL
ST. PETERSBURG · TAMPA

TIMOTHY J. HEALEY

DESIGN:	IB
DRAWN:	IB
CHECKED:	TJH

PARK PLACE BOAT & RV STORAGE
EXISTING CONDITIONS / DEMO PLAN

CITY OF ZEPHYRHILLS, FLORIDA

FLORIDA ENGINEER'S REGISTRATION NO. 53661

REV.#	DATE	REVISION	BY
9			
8			
7			
6			
5			
4			
3			
2			
1			
DATE	6/27/22	JOB #	21-16
SCALE:	1" = 40'		
SHEET #:	4 OF 7		

GENERAL CONSTRUCTION NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- ELEVATIONS REFER TO THE NAVD 88.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE OWNER'S ENGINEER, SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS WHICH ARE FROM THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL SHOP DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER'S ENGINEER.
- AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES, AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER, OR WITHOUT AGENCY INSPECTOR PRESENT, MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AROUND PIPES IN 6" LAYERS UP TO A LEVEL OF AT LEAST ONE FOOT ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- SITE WORK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED.
- ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION IS TO BE ALLOWED.
- ALL DISTURBED AREAS WHICH ARE NOT TO BE SODDED, ARE TO BE SEEDED AND MULCHED TO DOT STANDARDS, AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS, ACCEPTABLE TO THE REGULATORY AGENCY, AND ENGINEER OF RECORD, HAVE BEEN OBTAINED. ANY WASHOUTS, REGRADEING, RESEEDING, AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR, UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE, BY THE REGULATORY AGENCY AND ENGINEER OF RECORD.
- THE SOILS ENGINEER IS TO SUPPLY THE ENGINEER WITH A PHOTOCOPY OF ALL COMPACTION TESTS, AND ASPHALT RESULTS. THE SOILS ENGINEER IS TO CERTIFY TO THE ENGINEER OF RECORD, IN WRITING, THAT ALL TESTING REQUIREMENTS, REQUIRED BY THE LOCAL REGULATORY AGENCY, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), FOR THE IMPROVEMENTS, AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS, HAVE BEEN SATISFIED.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS AND PERMITS AT THE CONSTRUCTION SITE.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS FOR CONSTRUCTION SITE SAFETY.
- ALL SODDING, SEEDING AND MULCHING SHALL INCLUDE WATERING AND FERTILIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE AREAS UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.

CLEARING AND GRUBBING NOTES

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER.
- THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE, WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE, NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS. ONLY "GRADING BY HAND" IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO REMAIN.
- THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
- DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- WHEN CONSTRUCTION IS COMPLETED, THE RETENTION/DETENTION AREAS WILL BE RESHAPED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SODDED IN ACCORDANCE TO THE PLANS.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS.

STORM SEWER NOTES

- ALL DELETERIOUS SUBSTANCE MATERIAL, (I.E. MUCK, PEAT, BURIED DEBRIS), IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS, OR AS DIRECTED BY THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING, OR SHORING, AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED.
 - ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
 - THE CONTRACTOR IS TO SOD THE RETENTION/DETENTION POND AS INDICATED ON PLANS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE POND.
 - MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY.
- PAVING NOTES
- PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR APPROVAL.
 - THE CONTRACTOR IS TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER, AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.
 - ALL PAVEMENT MARKINGS SHALL BE MADE WITH TRAFFIC PAINT IN ACCORDANCE TO FDOT STANDARD SPECIFICATIONS 971-12 OR 971-13. PARKING STALL STRIPING TO BE 4" WIDE PAINTED WHITE STRIPES.
 - THE CONTRACTOR IS TO INSTALL EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES.
 - STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".

PAVING, GRADING & DRAINAGE TESTING AND INSPECTION REQUIREMENTS

- THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S SOILS ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL.
- THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING SCHEDULE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

WATER SYSTEM NOTES

- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES.
- ALL FITTINGS LARGER THAN 2" SHALL BE DUCTILE IRON CLASS 53 IN ACCORDANCE WITH AWWA C-110 WITH A PRESSURE RATING OF 350 PSI. JOINTS SHALL BE MECHANICAL JOINTS IN ACCORDANCE WITH AWWA C-111. FITTINGS SHALL BE CEMENT MORTAR LINED AND COATED IN ACCORDANCE WITH AWWA C-104.
- ALL PVC WATER MAINS 4" THROUGH 12" SHALL BE IN ACCORDANCE WITH AWWA C-900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18 IN ACCORDANCE WITH ASTM D-2241.
- WATER MAIN PIPING OF LESS THAN 4" SHALL BE PER PVC SCH40.
- ALL FITTINGS 2" AND SMALLER SHALL BE PVC SDR26 WITH PUSH ON JOINTS.
- ALL GATE VALVES 2" OR LARGER SHALL BE RESILIENT SEAT OR RESILIENT WEDGE MEETING THE REQUIREMENTS OF AWWA C509
- ALL FIRE HYDRANTS (IF NEEDED) SHALL MEET THE REQUIREMENTS OF AWWA C502 AND SHALL BE APPROVED BY THE LOCAL UTILITY AND FIRE MARSHAL.
- THE CONTRACTOR IS TO INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.
- THRUST BLOCKING SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS AS SHOWN ON DETAILS.
- THE IRRIGATION SYSTEM SHALL HAVE COLOR CODED PIPING AND LABELING ON THE PIPE TO INSURE DIFFERENTIATION FROM POTABLE WATER PIPING.

WATER SYSTEM TESTING AND INSPECTION REQUIREMENTS

- ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESURE TESTS TO BE IN ACCORDANCE WITH WATER DEPARTMENT SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND WATER DEPARTMENT INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.
- CONTRACTOR TO PERFORM CHLORINATION. BACTERIOLOGICAL SAMPLING SHALL BE BY THE LOCAL PUBLIC HEALTH UNIT AND/OR LOCAL UTILITY. CONTRACTOR SHALL OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.

HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR SEWER FORCE MAINS AND RECLAIMED WATER PIPELINES.

- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
- (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- (D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES

- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

SANITARY SEWER NOTES

- ALL SANITARY SEWER MAINS & LATERALS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL SANITARY SEWER MAINS & SERVICE LATERALS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE, SDR 26 OR AS OTHERWISE INDICATED ON THE CONSTRUCTION DRAWINGS.
- ALL SANITARY SEWER WORK SHALL CONFORM WITH LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- PVC PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS DESIGNATION D-3034-77C, MA SDR 26. INSTALLATION OF SDR 26 PIPE SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ASTM SPECIFICATION SECTION D2321. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.
- ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.

SANITARY SEWER TESTING AND INSPECTION REQUIREMENTS

- THE CONTRACTOR SHALL PERFORM AN EXFILTRATION TEST ON ALL GRAVITY SEWERS INSTALLED IN ACCORDANCE WITH THE REGULATION AGENCY HAVING JURISDICTION. MAXIMUM ALLOWABLE LEAKAGE RATE: 200 GPD PER INCH PIPE DIAMETER PER MILE. TEST RESULTS ARE TO BE SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

NOTICE TO ALL CONTRACTORS AND DEVELOPERS

THE STORM, DOMESTIC WATER SYSTEM AND SANITARY SYSTEM FOR THIS PROJECT MUST BE INSPECTED BY OUR OFFICE IN ORDER THAT THEY BE CERTIFIED TO THE APPROPRIATE GOVERNMENTAL AGENCY. IT IS, THEREFORE, IMPERATIVE THAT OUR OFFICE BE NOTIFIED AT LEAST 24 HOURS PRIOR TO BACKFILLING OVER THESE FACILITIES. FAILURE TO DO SO WILL RESULT IN THESE FACILITIES HAVING TO BE UNCOVERED AND INSPECTED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED. YOUR CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL THE MATTER IS RESOLVED.

SWFWMD MAINTENANCE AND OPERATIONS INSPECTIONS FOR STORMWATER DISCHARGE FACILITY

GENERAL MAINTENANCE:

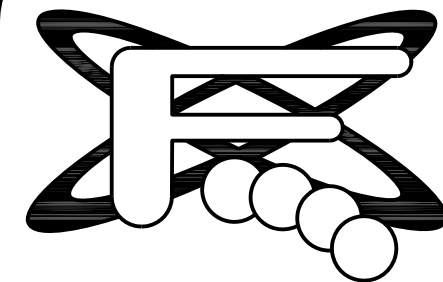
- ALL STORMWATER PIPES, INLETS, CATCH BASINS, MANHOLES, FLUMES, POND INFLOW AND OUTFALL STRUCTURES (INCLUDING OIL SKIMMERS), AND DISCHARGE PIPES SHOULD BE INSPECTED ON A REGULAR BASIS (MONTHLY OR QUARTERLY) AND AFTER MAJOR RAINFALLS. THEY SHOULD BE MAINTAINED BY REMOVING BUILT-UP DEBRIS AND VEGETATION AND REPAIRING DETERIORATING STRUCTURES.
- CHEMICALS, OILS, GREASES OR SIMILAR WASTES ARE NOT TO BE DISPOSED OF DIRECTLY TO THE STORMWATER FACILITY OR THROUGH STORM SEWERS. TREATMENT PONDS ARE DESIGNED TO TREAT NORMAL ROAD, PARKING LOT, ROOF AND YARD RUNOFF ONLY. SOME CHEMICALS MAY INTERFERE WITH A TREATMENT POND'S FUNCTIONS OR KILL VEGETATION AND WILDLIFE. DISPOSE OF THESE POTENTIALLY DANGEROUS MATERIALS PROPERLY BY TAKING THEM TO RECYCLING FACILITIES OR TO COLLECTION LOCATIONS SPONSORED BY MANY LOCAL GOVERNMENTS.

DO NOT DISPOSE OF GRASS CLIPPINGS IN THE SURFACE WATER MANAGEMENT SYSTEM (SWMS). GRASS CLIPPINGS POSE PROBLEMS BY SMOTHERING DESIRABLE VEGETATION, CLOGGING OUTFALL STRUCTURES AND, WHEN THEY DECOMPOSE, MAY CAUSE UNSIGHTLY ALGAE BLOOMS THAT CAN KILL FISH.
- ACCUMULATED POND SEDIMENTS MAY CONTAIN HEAVY METALS SUCH AS LEAD, CADMIUM AND MERCURY, AS WELL AS OTHER POTENTIALLY HAZARDOUS MATERIALS. THEREFORE, SEDIMENTS REMOVED FROM STORM SEWERS, INLETS, PIPES, AND PONDS SHOULD BE DISPOSED OF AT AN APPROVED FACILITY (CHECK WITH YOUR COUNTY SOLID WASTE DEPARTMENT OR THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR DISPOSAL FACILITIES APPROVED TO ACCEPT TREATMENT POND SEDIMENT).
- DURING ANY REPAIR OR MAINTENANCE ACTIVITY, USE CARE TO AVOID CAUSING EROSION OR SILTATION TO ADJACENT OR OFF-SITE AREAS.
- REMEMBER, ALTERATIONS (FILLING, ENLARGING, ETC.) OF ANY PART OF THE STORMWATER FACILITY IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM ALL APPLICABLE GOVERNING AGENCIES.
- IT IS USUALLY MORE COST-EFFECTIVE TO MONITOR AND PERFORM ROUTINE MAINTENANCE ON THE SWMS, RATHER THAN LET IT FAIL AND HAVE TO RECONSTRUCT THE ENTIRE SYSTEM.
- MOSQUITO GROWTH CAN BE MINIMIZED IN THE SWMS BY THE FOLLOWING MEASURES:

a. DO NOT DUMP GRASS CLIPPINGS OR OTHER ORGANIC DEBRIS INTO THE SWMS. DECAYING GRASS CLIPPINGS AND OTHER DECOMPOSING VEGETATION CREATE IDEAL CONDITIONS FOR BREEDING MOSQUITOES.
b. CLEAN OUT ANY OBSTRUCTIONS THAT GET INTO THE SYSTEM. DEBRIS CAN OBSTRUCT FLOW AND HARBOR MOSQUITO EGGS AND LARVAE.
c. REMOVE WATER LETTUCE AND WATER HYACINTH, WHICH NOURISH AND SHELTER MOSQUITO LARVAE.
d. STOCK PONDS WITH PREDATORY "MOSQUITO FISH" - GAMBUSIA MINNOWS, WHICH MAY BE COLLECTED FROM OTHER PONDS AND DITCHES AND INTRODUCED INTO YOUR SWMS. REMEMBER, THE INTRODUCTION OF GRASS CARP INTO YOUR SWMS WILL REQUIRE SWFWMD APPROVAL.
- DITCHES AND SWALES SHOULD BE PERIODICALLY MOVED AND CLEANED OF ACCUMULATED REFUSE. DURING THE MOWING OPERATIONS, DITCHES AND SWALES SHOULD BE INSPECTED FOR BARE SPOTS, DAMAGE OR EROSION. BARE AREAS SHOULD BE SODDED OR SEEDED TO REPLACE THE GRASS COVER. IN THE CASE OF EROSION, REPLACE THE MISSING SOILS AND BRING THE AREA BACK TO GRADE.

DRY RETENTION PONDS:

- ON A MONTHLY OR QUARTERLY BASIS, AND FOLLOWING A STORM EVENT, YOU SHOULD MAKE AN INSPECTION OF THE POND AND ITS OUTFALL STRUCTURE TO ENSURE THAT THE SYSTEM IS OPERATING PROPERLY. IF STANDING WATER PERSISTS LONGER THAN 72 HOURS AFTER A NORMAL SUMMER RAIN EVENT, OR IF WETLAND VEGETATION SUCH AS CATTAILS GROW IN THE POND, THE STORMWATER FACILITY MAY BE IN NEED OF REPAIR. REPAIRS MAY BE AS SIMPLE AS SCARIFYING OR RAKING THE POND BOTTOM, OR MAY CONSIST OF REMOVING THE BOTTOM SEDIMENT (APPROXIMATELY THE TOP FOOT OF SOIL) AND REPLACING THE SOIL WITH CLEAN SAND. FOR MORE INFORMATION, CONTACT YOUR LOCAL SWFWMD SERVICE OFFICE.
- MOW FREQUENTLY ENOUGH TO PREVENT THATCH BUILDUP. PICK UP GRASS CLIPPINGS AFTER CUTTING. LIMIT FERTILIZER USE AROUND THE POND, AND DO NOT FERTILIZE GRASS IN THE POND AREA.
- RESOD ANY AREAS (SIDES OR BOTTOM) WHERE GRASS OR SOD HAS BEEN REMOVED OR ERODED.
- KEEP THE OUTFALL STRUCTURE CLEAR OF DEBRIS AND VEGETATION.



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FRONTIER ENGINEERING, INC.
COMMERCIAL - MUNICIPAL - RESIDENTIAL
ST. PETERSBURG - TAMPA

PARK PLACE BOAT & RV STORAGE
NOTES & SPECIFICATIONS

TIMOTHY J. HEALEY

IB

IB

TJH

DESIGN:

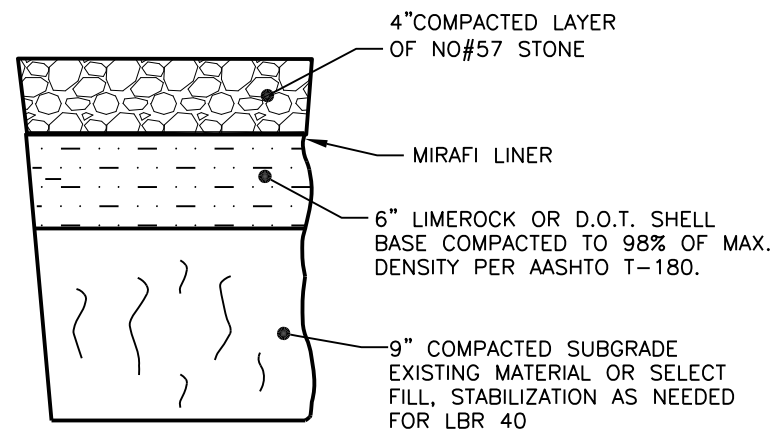
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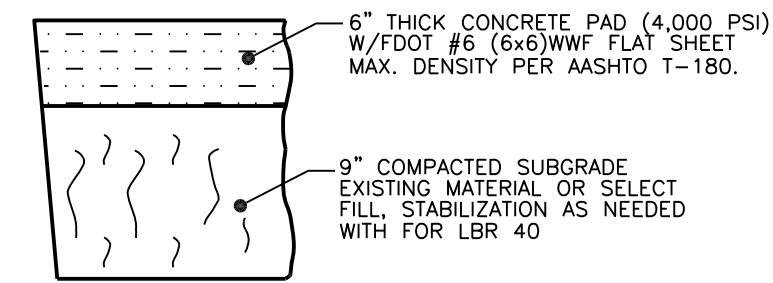
CITY OF ZEPHYRHILLS, FLORIDA

FLORIDA ENGINEER'S REGISTRATION NO. 53661

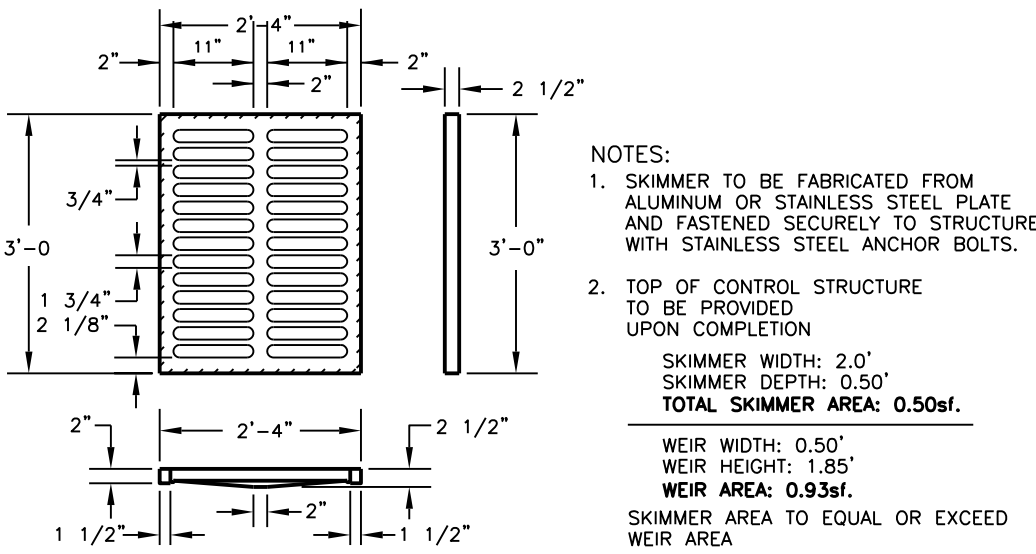
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DATE: 6/27/22 JOB #: 21-16
SCALE: N.T.S.
SHEET #: 5 OF 7



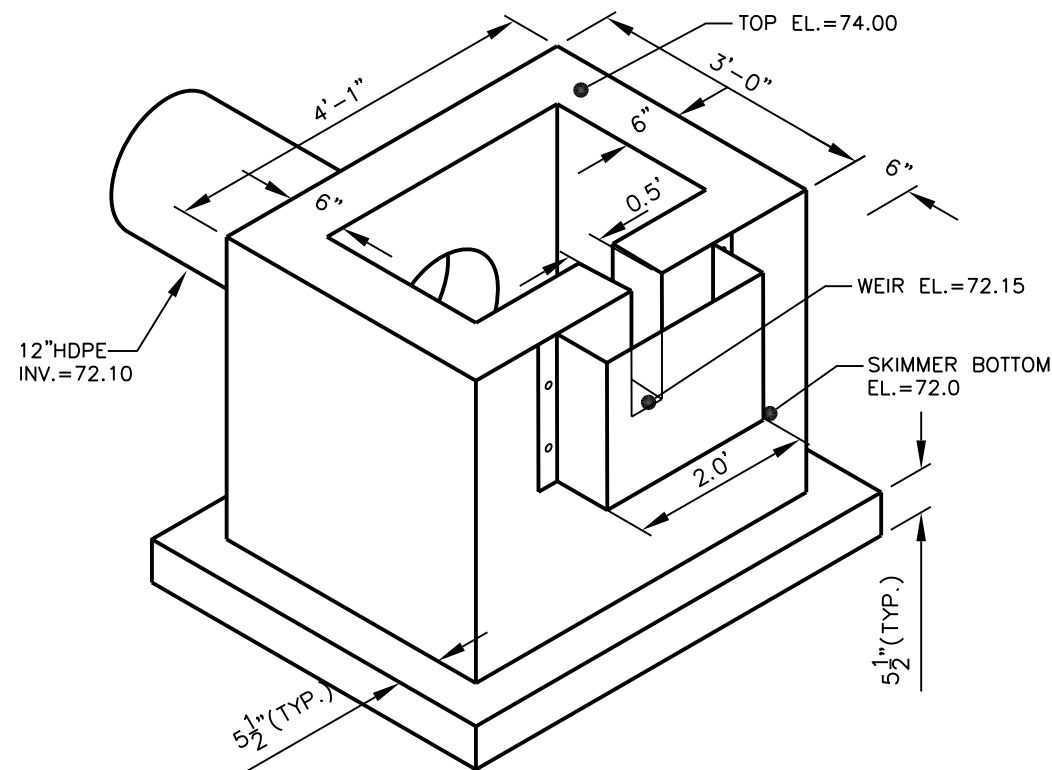
HEAVY DUTY ROCK PAVEMENT DETAIL
N.T.S.



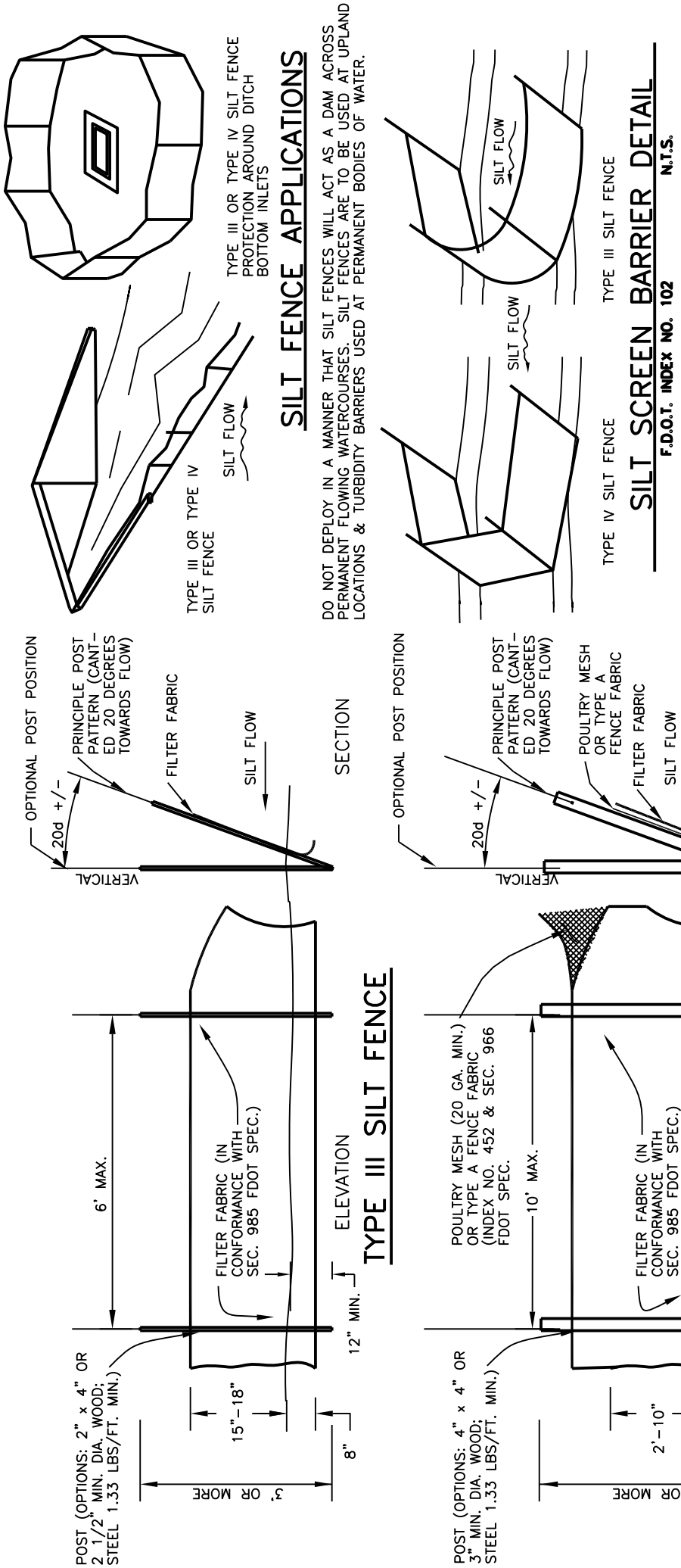
CONCRETE PAVEMENT DETAIL
(DRIVEWAY ENTRANCES)
N.T.S.



TYPE "C" - CAST IRON GRATE
APPROX. WEIGHT 235 LBS.
N.T.S.



OUTFALL CONTROL STRUCTURE
SCALE: N.T.S.
TYPE "C"



SILT SCREEN BARRIER DETAILS
N.T.S.

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PARK PLACE BOAT & RV STORAGE DETAILS I

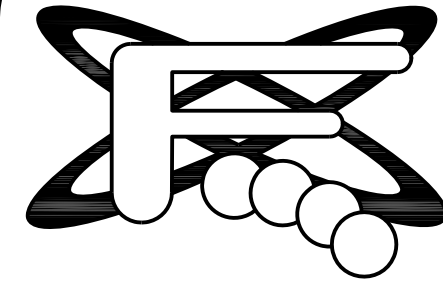
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TIMOTHY J. HEALEY

DESIGN:	IB
DRAWN:	IB
CHECKED:	TJH

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REV.#	DATE	REVISION	BY
9			
8			
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1			

SCALE: N.T.S.

SHEET #: 6 OF 7

PROPOSED LEGEND

- DIRECTION OF FLOW
EXISTING ELEVATION
PROPOSED ELEVATION
NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)
SILT FENCE
6'TALL PVC FENCE
6'HIGH PDOT FENCE VINYL COATED(BLACK) W/BARBED WIRE
CEMENT BAG RIP-RAP PAD
FILTER SOCK
NUMBER OF PROPOSED PARKING SPACES
PROTECTIVE TREE BARRICADE
REMOVE EXISTING TREE

PAVING LEGEND

- PROPOSED CONCRETE
PROPOSED COMPACTED GRAVEL

EX.TREE LEGEND:

- Camphor Tree (4) Oak Tree (74)
Cypress Tree (3) Sycamore Tree (1)

BENCHMARKS:

ELEVATIONS SHOWN HEREON WERE BASED ON NATIONAL GEODETIC SURVEY BENCH MARK S 682, PID DK5507, SAID BENCH MARK HAVING A PUBLISHED ELEVATION OF 75.20' NORTH AMERICAN VERTICAL DATUM OF 1988. ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.

TBM #1:
STATION IS A P.K. NAIL & DISK LOCATED 20.5'± NORTH AND 24.8'± EAST OF THE NORTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 76.79' (NAVD 1988)

TBM #2:
STATION IS A P.K. NAIL & DISK LOCATED 25.6'± NORTH AND 34.8'± EAST OF THE SOUTHEAST CORNER OF LOT 12 DESCRIBED HEREON.
ELEVATION: 76.87' (NAVD 1988)

NOTES:
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2. THE TEMPORARY BENCHMARKS NOTED HEREON ARE NOT FOR PUBLIC USE, AND REFER TO THIS MAP ONLY.

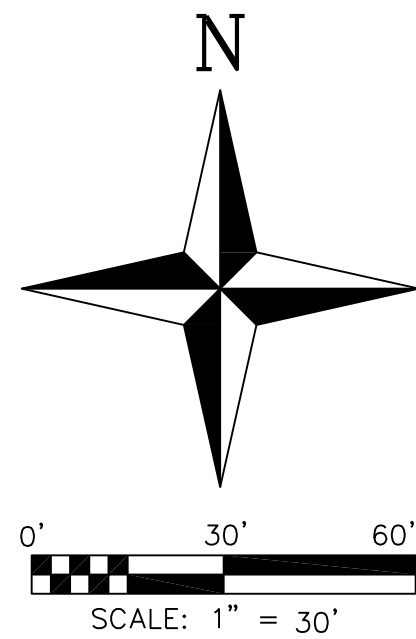
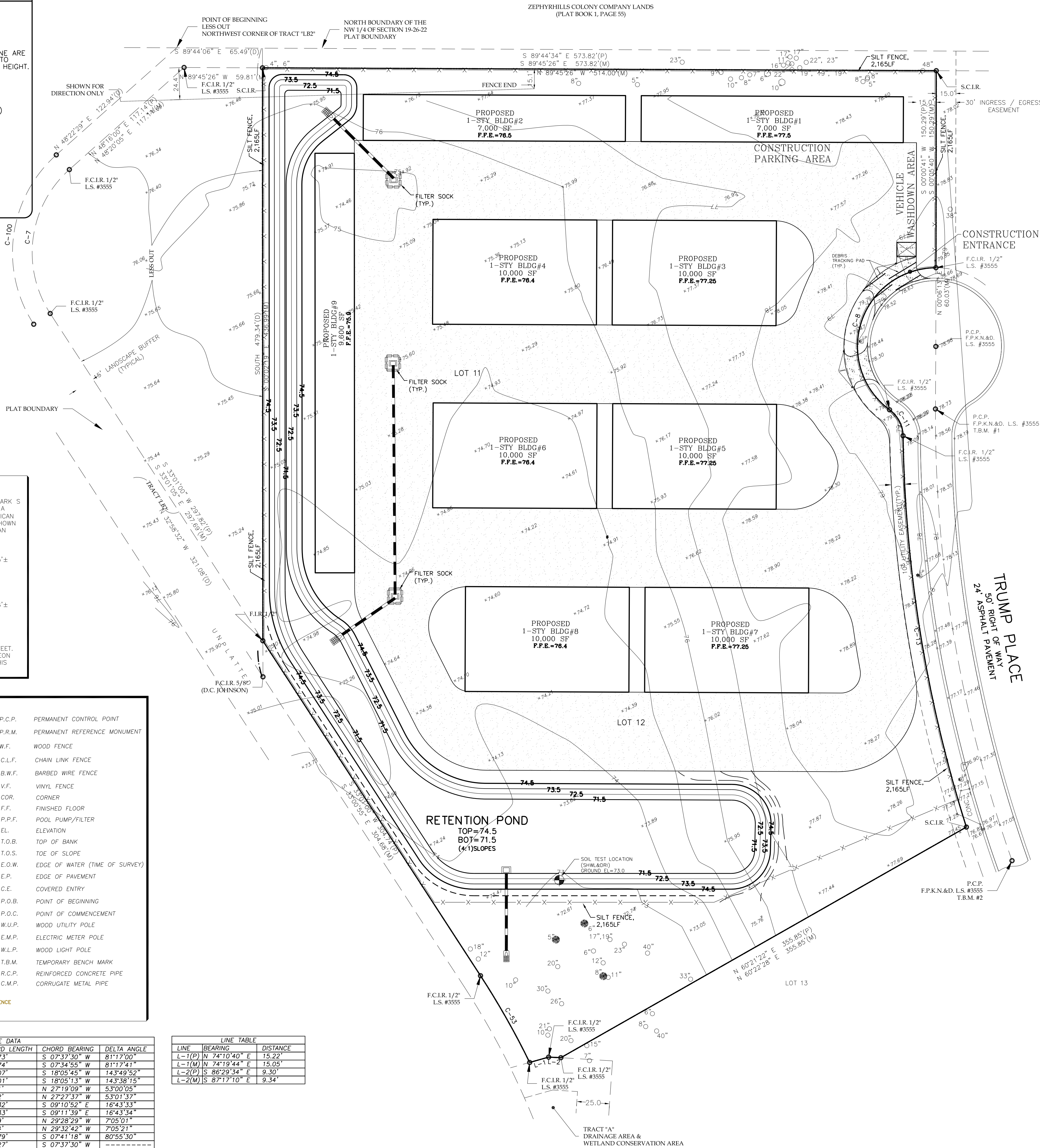
LEGEND:

F.I.P.	FOUND IRON PIPE	P.C.P.	PERMANENT CONTROL POINT	
F.C.I.P.	FOUND CAPPED IRON PIPE	P.R.M.	PERMANENT REFERENCE MONUMENT	
F.I.R.	FOUND IRON ROD	W.F.	WOOD FENCE	
F.C.I.R.	FOUND CAPPED IRON ROD	B.W.F.	BARBED WIRE FENCE	
F.C.M.	FOUND CONCRETE MONUMENT	C.L.F.	CHAIN LINK FENCE	
S.C.I.R.	SET CAPPED IRON ROD 1/2"	P.S.M.#5761	V.F.	VINYL FENCE
			COR.	CORNER
SMN&D	SET MAG NAIL & DISK	P.S.M.#5761	F.F.	FINISHED FLOOR
L.B.	LICENSED BUSINESS	P.P.P.	POOL PUMP/FILTER	
		EL.	ELEVATION	
P.S.M.	PROFESSIONAL SURVEYOR AND MAPPER	T.O.B.	TOP OF BANK	
		T.O.S.	TOE OF SLOPE	
FPKN&D	FOUND PK NAIL & DISK	E.O.W.	EDGE OF WATER (TIME OF SURVEY)	
F.R.R.S.	FOUND RAILROAD SPIKE	E.P.	EDGE OF PAVEMENT	
D	DEED	C.E.	COVERED ENTRY	
P	PLAT	P.O.B.	POINT OF BEGINNING	
F	FIELD	P.O.C.	POINT OF COMMENCEMENT	
C	CALCULATED	W.U.P.	WOOD UTILITY POLE	
CONC.	CONCRETE	E.M.P.	ELECTRIC METER POLE	
A/C	AIR CONDITIONER	W.L.P.	WOOD LIGHT POLE	
C.B.	CONCRETE BLOCK	T.B.M.	TEMPORARY BENCH MARK	
LP	CONCRETE LIGHT POLE	R.C.P.	REINFORCED CONCRETE PIPE	
⊙	LIGHT POLE ELECTRIC BOX	C.M.P.	CORRUGATE METAL PIPE	
	EXISTING ELEVATION			

BARBED WIRE FENCE
EASEMENT
PLAT LINE

CURVE DATA				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C-7(P)	85.00'	120.59'	110.73'	S 07°37'30" W
C-7(M)	85.00'	120.60'	110.74'	S 07°34'55" W
C-8(P)	60.00'	150.62'	114.07'	S 18°05'45" W
C-8(M)	60.00'	150.42'	114.01'	S 18°05'13" W
C-11(P)	25.00'	23.13'	22.31'	N 27°19'09" W
C-11(M)	25.00'	23.14'	22.32'	N 27°27'37" W
C-13(P)	1039.33'	303.40'	302.32'	S 09°10'52" E
C-13(M)	1039.33'	303.41'	302.33'	S 09°11'39" E
C-53(P)	615.00'	76.03'	75.99'	N 29°28'29" W
C-53(M)	615.00'	76.09'	76.04'	N 29°32'42" W
C-100(D)	100.00'	141.24'	129.79'	S 07°41'18" W
C-100(P)	100.00'	141.87'	130.27'	S 07°37'30" W

LINE TABLE		
LINE	BEARING	DISTANCE
L-1(P)	N 74°10'40" E	15.22'
L-1(M)	N 74°19'44" E	15.05'
L-2(P)	S 86°29'34" E	9.30'
L-2(M)	S 87°17'10" E	9.34'



SEQUENCE OF CONSTRUCTION

1. THE SITE SUPERINTENDENT AND/OR THE PARTY THAT WILL BE DIRECTLY RESPONSIBLE FOR MAINTAINING THE SEDIMENT CONTROL DEVICES MUST MEET WITH THE CITY OF ZEPHYRHILLS SEDIMENT CONTROL INSPECTOR AT THE SITE WITH A PRINT OF THE APPROVED SEDIMENT CONTROL PLAN PRIOR TO CONSTRUCTION.
2. OBTAIN SITE PERMIT FROM CITY OF ZEPHYRHILLS.
3. INSTALL THE STABILIZED CONSTRUCTION ENTRANCE LOCATED ON THE SOUTHEAST CORNER OF THE PROPERTY ADJACENT TO EXISTING APRON. ENTRANCE WILL BE LOCATED WHERE THE PROPOSED FUTURE CROSS ACCESS POSITION IS.

NOTE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENTATION ONTO PUBLIC RIGHT-OF-WAYS OR STREET. ALL SEDIMENT SPILLED, DROPPED OR WASHED ONTO PUBLIC RIGHT-OF-WAYS OR STREETS MUST BE REMOVED IMMEDIATELY.

4. CONSTRUCT TEMPORARY PARKING AREAS.
5. INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AREA.
6. INSTALL FILTER SOCK AT THROAT OF EXISTING CONCRETE FLUME WEST SIDE OF SITE.
7. CLEAR AND GRUB SITE.
8. BEGIN ROUGH GRADING OF SITE.
9. STOCK PILE ALL EXCESS CUT ONTO DESIGNATED STOCK PILE AREA. INSTALL SILT FENCE AROUND THE STOCK PILE AREA.
10. START HEAVY EARTHWORK GRADING.
11. BEGIN PIPEWORK IN EDGE OF DETENTION PONDS.
12. BEGIN INSTALL OF WATER, STORM SEWER, SANITARY SEWER & UTILITY CONDUIT LINES.
13. INSTALL THE FOLLOWING SEDIMENT CONTROL DEVICES: A. RIP RAP BELOW ALL MITERED END SECTIONS. B. FILTER SOCKS IN FRONT OF ALL INLET STRUCTURES.
14. GRADE SITE TO FINAL DESIGN ELEVATIONS.
15. UPON APPROVAL OF GRADING STABILIZATION, BEGIN SEEDING/SODDING WHERE APPLICABLE.
17. INSTALL CURB AND GUTTER AND PAVE SITE.
18. EROSION AND SEDIMENT CONTROL DEVICES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED AND ALL LANDSCAPING HAS BEEN INSTALLED.

MAINTENANCE

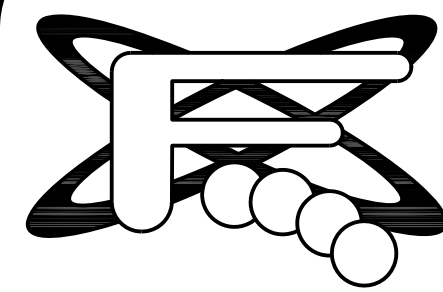
IN GENERAL ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAINFALL OR WEEKLY, WHICHEVER IS MOST FREQUENT AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. STRAW BALE BARRIERS WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION.
2. ALL SEEDING AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED AND SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.
3. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. 4. THE SEDIMENT TRAPS WILL BE CHECKED PERIODICALLY FOR SEDIMENT CLEANOUT.

NOTE:
ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH DAY. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD. IF THE ACTION OF VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.

DEWATERING NOTES:

CONTRACTOR MUST PROVIDE A DEWATERING PLAN, IF APPLICABLE, TO PASCO COUNTY ENGINEERING INSPECTIONS DEPARTMENT AT (727) 834-3670 FOR REVIEW PRIOR TO THE EROSION CONTROL MEASURES PRE-INSPECTION MEETING. - CONDITION OF APPROVAL (COA).



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ST. PETERSBURG · TAMPA

TIMOTHY J. HEALEY

DESIGN: IB
DRAWN: IB
CHECKED: TJH

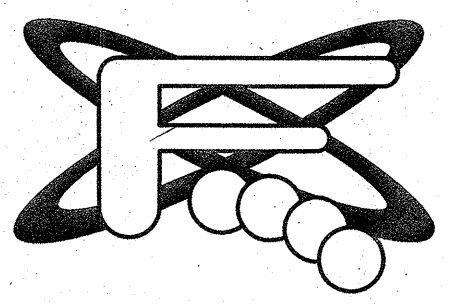
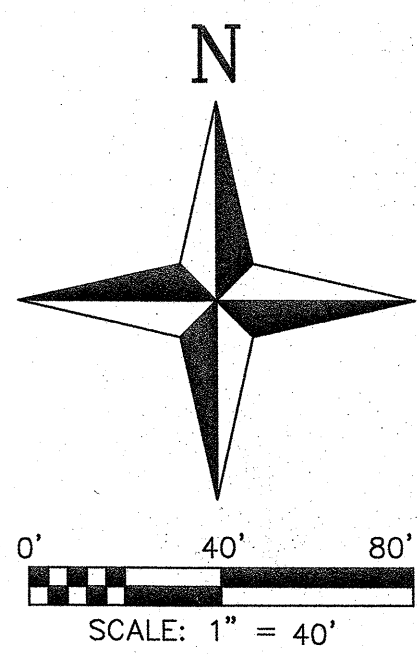
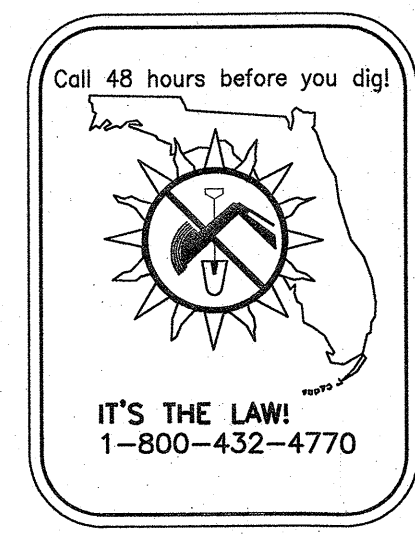
PARK PLACE BOAT & RV STORAGE
NPDES/SWPP PLAN

CITY OF ZEPHYRHILLS, FLORIDA

FLORIDA ENGINEER'S REGISTRATION NO. 53661

REVISION		DATE	BY
9	0		
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2	0		
1	0		
SCALE: 1" = 30'		JOB #21-16	
SHEET # 7 OF 7			

ZEPHYRHILLS COLONY COMPANY LANDS
(PLAT BOOK 1, PAGE 55)



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FAX: (813) 251-0179
frontierengineering@yahoo.com

FRONTIER ENGINEERING, INC.

TIMOTHY J. HEALEY

DESIGN: IB
DRAWN: IB
CHECKED: TJH

PARK PLACE RV BOAT & STORAGE LANDSCAPE PLAN

COMMERCIAL - MUNICIPAL - RESIDENTIAL
ST. PETERSBURG, FLORIDA

REV.	DATE	REVISION
1		
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9		

DATE: 12/3/21 JOB #: 21-16
SCALE: 1" = 40'
SHEET #: L1 OF 7

LEGEND:			
F.I.P.	FOUND IRON PIPE	P.C.P.	PERMANENT CONTROL POINT
F.C.I.P.	FOUND CAPPED IRON PIPE	P.R.M.	PERMANENT REFERENCE MONUMENT
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F.C.I.R.	FOUND CAPPED IRON ROD	C.L.F.	CHAIN LINK FENCE
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SM&D	SET MAG NAIL & DISK	COR.	CORNER
P.S.M.#5761	PROFESSIONAL SURVEYOR AND MAPPER	F.F.	FINISHED FLOOR ELEVATION
L.B.	LICENSED BUSINESS	P.P.F.	POOL PUMP/FILTER
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F.R.R.S.	FOUND RAILROAD SPIKE	T.O.S.	TOE OF SLOPE
D	DEED	E.O.W.	EDGE OF WATER (TIME OF SURVEY)
P	PLAT	E.P.	EDGE OF PAVEMENT
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C	CALCULATED	P.O.B.	POINT OF BEGINNING
CONC.	CONCRETE	P.O.C.	POINT OF COMMENCEMENT
A/C	AIR CONDITIONER	W.U.P.	WOOD UTILITY POLE
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C.M.P.	CONCRETE METAL PIPE	T.B.M.	TEMPORARY BENCH MARK
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EXISTING ELEVATION			
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EX.TREE LEGEND:
○ Camphor Tree (4) ○ Oak Tree (74)
● Cypress Tree (3) ● Sycamore Tree (1)

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PROPOSED LEGEND	
	DIRECTION OF FLOW
	EXISTING ELEVATION
	PROPOSED ELEVATION
NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)	
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	6' TALL PVC FENCE
	6' HIGH FDOT FENCE VINYL COATED (BLACK)
	CEMENT BAG RIP-RAP PAD
	HAYBALE BARRICADE
	NUMBER OF PROPOSED PARKING SPACES
	PROTECTIVE TREE BARRICADE
	REMOVE EXISTING TREE

PAVING LEGEND	
	PROPOSED CONCRETE
	PROPOSED ASPHALT

PROPRIETARY INFORMATION

ARCHITECTURAL APPROVAL
REC'D. STEPHEN HERRMANN 2021
APP'D. _____
CONDITIONS _____

Stephen Herrmann
31131 Pasco Rd
San Antonio, FL 33578

